



RESIDENTIAL APARTMENT DEVELOPMENT

LOT 101 DP 1267563 SOMME AVENUE

EDMONDSON PARK NSW

AMENDING DEVELOPMENT APPLICATION

DRAWING NO.	DRAWING NAME	REVISION	DATE
0000 SERIES: CONTEXT, SITE + DEVELOPMENT DATA			
DA 0001	DRAWING LIST + LOCATION PLAN	C	29.02.24
DA 0002	ACCOMMODATION SCHEDULE	C	29.02.24
DA 0003	DEVELOPMENT DATA	C	29.02.24
DA 0004	CONTEXT ANALYSIS PLAN	B	29.02.24
DA 0005	SITE ANALYSIS PLAN	B	29.02.24
DA 0006	SITE PLAN	C	29.02.24
1000 SERIES: GENERAL ARRANGEMENT PLANS (BLD A+B)			
DA 1001	BASEMENT 2 PLAN	C	29.02.24
DA 1002	LEVEL LG (B1) PLAN - BLD A+B	C	29.02.24
DA 1003	LEVEL 1 (G) PLAN - BLD A+B	C	29.02.24
DA 1004	LEVEL 2 PLAN - BLD A+B	C	29.02.24
DA 1005	LEVEL 3 PLAN - BLD A+B	C	29.02.24
DA 1006	LEVEL 4 PLAN - BLD A+B	C	29.02.24
DA 1007	LEVEL 5 PLAN - BLD A+B	C	29.02.24
DA 1008	LEVEL 6 PLAN - BLD A+B	C	29.02.24
DA 1009	LEVEL 7 PLAN - BLD A+B	A	29.02.24
DA 1010	ROOF PLAN - BLD A+B	A	29.02.24
1100 SERIES: GENERAL ARRANGEMENT PLANS (BLD C)			
DA 1102	BASEMENT 4 PLAN - BLD C	B	29.02.24
DA 1103	BASEMENT 3 PLAN - BLD C	B	29.02.24
DA 1104	BASEMENT 2 PLAN - BLD C	B	29.02.24
DA 1105	BASEMENT 1 PLAN - BLD C	B	29.02.24
DA 1106	LEVEL 1 (G) PLAN - BLD C	B	29.02.24
DA 1107	LEVEL 2 PLAN - BLD C	C	29.02.24
DA 1108	LEVEL 3 PLAN - BLD C	C	29.02.24
DA 1109	LEVEL 4 PLAN - BLD C	C	29.02.24
DA 1110	LEVEL 5 PLAN - BLD C	C	29.02.24
DA 1111	LEVEL 6 PLAN - BLD C	B	29.02.24
DA 1112	LEVEL 7 PLAN - BLD C	B	29.02.24
DA 1113	LEVEL 8 PLAN - BLD C	A	29.02.24
DA 1114	ROOF PLAN - BLD C	A	29.02.24
2000 SERIES: ELEVATIONS + SECTIONS (BLD A+B)			
DA 2001	NORTH + SOUTH ELEVATION (BLD A+B)	C	29.02.24
DA 2002	EAST + WEST ELEVATIONS + SECTIONS (BLD A+B)	C	29.02.24
DA 2003	INTERNAL ELEVATIONS + SECTIONS (BLD A+B)	C	29.02.24
2100 SERIES: ELEVATIONS + SECTIONS (BLD C)			
DA 2101	NORTH + SOUTH ELEVATION (BLD C)	B	29.02.24
DA 2102	EAST + WEST ELEVATION + SECTIONS (BLD C)	B	29.02.24
4000 SERIES: AERIAL VIEWS			
DA 4001	AERIAL VIEW - NORTH	C	29.02.24
DA 4002	AERIAL VIEW - SOUTH	C	29.02.24
5000 SERIES: SUN EYE VIEW DIAGRAMS			
DA 5001	SUN EYE VIEWS - WINTER SOLSTICE (09.00-12.00)	B	29.02.24
DA 5002	SUN EYE VIEWS - WINTER SOLSTICE (13.00-15.00)	B	29.02.24
8000 SERIES: DIAGRAMS			
DA 8001	GFA DIAGRAMS - BLD A+B (SHEET 1)	C	29.02.24
DA 8002	GFA DIAGRAMS - BLD A+B (SHEET 2)	C	29.02.24
DA 8003	GFA DIAGRAMS - BLD C (SHEET 1)	B	29.02.24
DA 8004	GFA DIAGRAMS - BLD C (SHEET 2)	B	29.02.24
DA 8005	SOLAR ACCESS DIAGRAMS - BLD A+B (SHEET 1)	C	29.02.24
DA 8006	SOLAR ACCESS DIAGRAMS - BLD A+B (SHEET 2)	C	29.02.24
DA 8007	SOLAR ACCESS DIAGRAMS - BLD C (SHEET 1)	C	29.02.24
DA 8008	SOLAR ACCESS DIAGRAMS - BLD C (SHEET 2)	B	29.02.24
DA 8009	NATURAL CROSS VENTILATION - BLD A+B (SHEET 1)	C	29.02.24
DA 8010	NATURAL CROSS VENTILATION - BLD A+B (SHEET 2)	C	29.02.24
DA 8011	NATURAL CROSS VENTILATION - BLD C (SHEET 1)	B	29.02.24
DA 8012	NATURAL CROSS VENTILATION - BLD C (SHEET 2)	B	29.02.24
DA 8013	MAXIMUM HOB 'HEIGHT BLANKET'	C	29.02.24
DA 8014	ADAPTABLE + LIVABLE ACCOMMODATION DIAGRAMS (SHEET 1)	B	29.02.24
DA 8015	ADAPTABLE + LIVABLE ACCOMMODATION DIAGRAMS (SHEET 2)	B	29.02.24
DA 8016	AFFORDABLE HOUSING AREA DIAGRAM	A	29.02.24
DA 8017	LANDSCAPED AREA DIAGRAMS	A	29.02.24
DA 8018	DEEP SOIL AREA DIAGRAMS	A	29.02.24
DA 8019	COMMUNAL OPEN SPACE DIAGRAMS	A	29.02.24
9000 SERIES: EXTERNAL MATERIALS, FINISHES + COLOURS			
DA 9001	EXTERNAL MATERIALS, FINISHES + COLOURS BOARD - BLD A	B	29.02.24
DA 9002	EXTERNAL MATERIALS, FINISHES + COLOURS BOARD - BLD B	B	29.02.24
DA 9003	EXTERNAL MATERIALS, FINISHES + COLOURS BOARD - BLD C	B	29.02.24

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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north

project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked

FS

drawing

DRAWING LIST + LOCATION PLAN

scale

1:2000@A1
1:4000@A3

drawn

JN

issue

C

scale bar

0 20 40 60 80 100 m

project no

20 117

drawing no

DA 0001

ACCOMMODATION SCHEDULE - BUILDING A											
BUILDING	LEVEL	UNIT NO.	BEDS	TYPE	BEDS	AREA	ADAPTABLE / LIVABLE	NATURAL CROSS VENTILATION	2 HRS SOLAR ACCESS	APARTMENT STORAGE	AFFORDABLE HOUSING
A	LEVEL 1 (G) - NORTH	A101	1B+ST	B3-2	1 BED	65 m²		YES	YES	3m³	YES
A	LEVEL 1 (G) - NORTH	A102	2B+2BA	F11-2	2 BED	82 m²		NO	YES	4m³	YES
A	LEVEL 1 (G) - NORTH	A103	2B+2BA	F2-3	2 BED	77 m²	ADAPT/LIV	NO	YES	4m³	YES
A	LEVEL 1 (G) - NORTH	A104	2B+2BA	F10	2 BED	84 m²		NO	YES	4m³	YES
A	LEVEL 1 (G) - NORTH	A105	2B	F18	2 BED	75 m²		YES	NO	4m³	YES
A	LEVEL 1 (G) - NORTH	A106	1B+ST	B6	1 BED	59 m²		NO	NO	3m³	YES
6						442 m²					
A	LEVEL 2 - NORTH	A201	1B+ST	B3-1	1 BED	65 m²		YES	YES	3m³	YES
A	LEVEL 2 - NORTH	A202	2B+2BA	F11-1	2 BED	80 m²		NO	YES	4m³	YES
A	LEVEL 2 - NORTH	A203	2B+2BA	F2-2	2 BED	77 m²	ADAPT/LIV	NO	YES	4m³	YES
A	LEVEL 2 - NORTH	A204	1B	B1	1 BED	53 m²	LIV	NO	YES	3m³	YES
A	LEVEL 2 - NORTH	A205	2B+2BA	F4	2 BED	82 m²		YES	YES	4m³	YES
A	LEVEL 2 - NORTH	A206	3B	J1	3 BED	93 m²		YES	NO	5m³	YES
A	LEVEL 2 - NORTH	A207	1B	B5	1 BED	51 m²		YES	YES	3m³	YES
7						502 m²					
A	LEVEL 3 - NORTH	A301	1B+ST	B3-1	1 BED	65 m²		YES	YES	3m³	YES
A	LEVEL 3 - NORTH	A302	2B+2BA	F11-1	2 BED	80 m²		NO	YES	4m³	YES
A	LEVEL 3 - NORTH	A303	2B+2BA	F2-2	2 BED	77 m²	ADAPT/LIV	NO	YES	4m³	YES
A	LEVEL 3 - NORTH	A304	1B	B1	1 BED	53 m²	LIV	YES	YES	3m³	YES
A	LEVEL 3 - NORTH	A305	2B+2BA	F4	2 BED	82 m²		YES	YES	4m³	YES
A	LEVEL 3 - NORTH	A306	3B	J1	3 BED	93 m²		YES	NO	5m³	YES
A	LEVEL 3 - NORTH	A307	1B	B5	1 BED	51 m²		YES	YES	3m³	YES
7						502 m²					
A	LEVEL 4 - NORTH	A401	1B+ST	B3-1	1 BED	65 m²		YES	YES	3m³	YES
A	LEVEL 4 - NORTH	A402	2B+2BA	F11-1	2 BED	80 m²		YES	YES	4m³	YES
A	LEVEL 4 - NORTH	A403	2B+2BA	F2-2	2 BED	77 m²	ADAPT/LIV	YES	YES	4m³	YES
A	LEVEL 4 - NORTH	A404	1B	B1	1 BED	53 m²	LIV	YES	YES	3m³	YES
A	LEVEL 4 - NORTH	A405	2B+2BA	F4	2 BED	82 m²		YES	YES	4m³	YES
A	LEVEL 4 - NORTH	A406	3B	J1	3 BED	93 m²		YES	YES	5m³	YES
A	LEVEL 4 - NORTH	A407	1B	B5	1 BED	51 m²		YES	YES	3m³	YES
7						502 m²					
TOTAL: 27						1948 m²					

ACCOMMODATION SCHEDULE - BUILDING B											
BUILDING	LEVEL	UNIT NO.	BEDS	TYPE	BEDS	AREA	ADAPTABLE / LIVABLE	NATURAL CROSS VENTILATION	2 HRS SOLAR ACCESS	APARTMENT STORAGE	AFFORDABLE HOUSING
B	LEVEL LG (B1) - NORTH	B001	1B	B9	1 BED	56 m²		NO	NO	3m³	NO
B	LEVEL LG (B1) - NORTH	B002	3B	J6	3 BED	95 m²		YES	NO	5m³	NO
B	LEVEL LG (B1) - NORTH	B003	1B	B7	1 BED	57 m²		YES	NO	3m³	NO
3						218 m²					
B	LEVEL 1 (G) - NORTH	B101	3B	J2-2	3 BED	105 m²		YES	NO	5m³	NO
B	LEVEL 1 (G) - NORTH	B102	2B+2BA	F5-2	2 BED	89 m²		YES	YES	4m³	NO
B	LEVEL 1 (G) - NORTH	B103	2B+2BA	F1-1	2 BED	82 m²		YES	YES	4m³	NO
B	LEVEL 1 (G) - NORTH	B104	2B+2BA	F2-1	2 BED	78 m²		NO	YES	4m³	NO
B	LEVEL 1 (G) - NORTH	B105	1B	B1-1	1 BED	51 m²	LIV	NO	YES	3m³	NO
B	LEVEL 1 (G) - NORTH	B106	2B	B14	1 BED	70 m²	ADAPT/LIV	YES	YES	3m³	NO
B	LEVEL 1 (G) - NORTH	B107	2B+2BA	F3-1	2 BED	77 m²		NO	NO	4m³	NO
B	LEVEL 1 (G) - NORTH	B108	2B+2BA	F17	2 BED	83 m²		YES	NO	4m³	NO
B	LEVEL 1 (G) - NORTH	B110	2B+2BA	F3-2	2 BED	81 m²		NO	NO	4m³	NO
B	LEVEL 1 (G) - NORTH	B111	2B	F6-2	2 BED	78 m²		YES	YES	4m³	NO
10						794 m²					
B	LEVEL 2 - NORTH	B201	3B	J2-1	3 BED	105 m²	LIV	YES	YES	5m³	NO
B	LEVEL 2 - NORTH	B202	2B+2BA	F5-1	2 BED	88 m²		YES	YES	4m³	NO
B	LEVEL 2 - NORTH	B203	2B+2BA	F1-1	2 BED	82 m²		YES	YES	4m³	NO
B	LEVEL 2 - NORTH	B204	2B+2BA	F2-1	2 BED	78 m²		NO	YES	4m³	NO
B	LEVEL 2 - NORTH	B205	1B	B1-1	1 BED	51 m²	LIV	NO	YES	3m³	NO
B	LEVEL 2 - NORTH	B206	2B	B14	1 BED	70 m²	ADAPT/LIV	YES	YES	3m³	NO
B	LEVEL 2 - NORTH	B207	1B	B2-1	1 BED	54 m²		NO	NO	3m³	NO
B	LEVEL 2 - NORTH	B208	2B+2BA	F3-1	2 BED	77 m²		NO	NO	4m³	NO
B	LEVEL 2 - NORTH	B209	2B+2BA	F17	2 BED	83 m²		YES	NO	4m³	NO
B	LEVEL 2 - NORTH	B210	2B	F6-1	2 BED	77 m²		YES	YES	4m³	NO
B	LEVEL 2 - NORTH	B211	2B+2BA	F3-3	2 BED	80 m²		NO	YES	4m³	NO
11						844 m²					
B	LEVEL 3 - NORTH	B301	3B	J2-1	3 BED	105 m²	LIV	YES	YES	5m³	NO
B	LEVEL 3 - NORTH	B302	2B+2BA	F5-1	2 BED	88 m²		YES	YES	4m³	NO
B	LEVEL 3 - NORTH	B303	2B+2BA	F1-1	2 BED	82 m²		YES	YES	4m³	NO
B	LEVEL 3 - NORTH	B304	2B+2BA	F2-1	2 BED	78 m²		NO	YES	4m³	NO
B	LEVEL 3 - NORTH	B305	1B	B1-1	1 BED	51 m²	LIV	NO	YES	3m³	NO
B	LEVEL 3 - NORTH	B306	2B	B14	1 BED	70 m²	ADAPT/LIV	YES	YES	3m³	NO
B	LEVEL 3 - NORTH	B307	1B	B2-1	1 BED	55 m²		NO	NO	3m³	NO
B	LEVEL 3 - NORTH	B308	2B+2BA	F3-1	2 BED	77 m²		NO	NO	4m³	NO
B	LEVEL 3 - NORTH	B309	2B+2BA	F17	2 BED	83 m²		YES	NO	4m³	NO
B	LEVEL 3 - NORTH	B310	2B	F6-1	2 BED	78 m²		YES	YES	4m³	NO
B	LEVEL 3 - NORTH	B311	2B+2BA	F3-3	2 BED	80 m²		NO	YES	4m³	NO
11						845 m²					
B	LEVEL 4 - NORTH	B401	3B	J2-1	3 BED	105 m²	LIV	YES	YES	5m³	NO
B	LEVEL 4 - NORTH	B402	2B+2BA	F5-1	2 BED	88 m²		YES	YES	4m³	NO
B	LEVEL 4 - NORTH	B403	2B+2BA	F1-1	2 BED	82 m²		YES	YES	4m³	NO
B	LEVEL 4 - NORTH	B404	2B+2BA	F2-1	2 BED	78 m²		NO	YES	4m³	NO
B	LEVEL 4 - NORTH	B405	1B	B1-1	1 BED	51 m²	LIV	YES	YES	3m³	NO
B	LEVEL 4 - NORTH	B406	2B	B14	1 BED	70 m²	ADAPT/LIV	YES	YES	3m³	NO
B	LEVEL 4 - NORTH	B407	1B	B2-2	1 BED	54 m²		YES	NO	3m³	NO
B	LEVEL 4 - NORTH	B408	2B+2BA	F3-1	2 BED	77 m²		NO	NO	4m³	NO
B	LEVEL 4 - NORTH	B409	2B+2BA	F17	2 BED	83 m²		YES	NO	4m³	NO
B	LEVEL 4 - NORTH	B410	2B	F6-1	2 BED	77 m²		YES	YES	4m³	NO
B	LEVEL 4 - NORTH	B411	2B+2BA	F3-3	2 BED	80 m²		NO	YES	4m³	NO
11						844 m²					
B	LEVEL 5 - NORTH	B501	1B	B2-2	1 BED	56 m²		YES	YES	3m³	NO
B	LEVEL 5 - NORTH	B502	2B+2BA	F3-1	2 BED	77 m²		NO	NO	4m³	NO
B	LEVEL 5 - NORTH	B503	2B+2BA	F17	2 BED	83 m²		YES	NO	4m³	NO
B	LEVEL 5 - NORTH	B504	3B	J8	3 BED	91 m²		YES	YES	5m³	NO
B	LEVEL 5 - NORTH	B505	1B	B16	1 BED	61 m²		NO	YES	3m³	NO
5						368 m²					
B	LEVEL 6 - NORTH	B601	1B	B2-2	1 BED	56 m²		YES	YES	3m³	NO
B	LEVEL 6 - NORTH	B602	2B+2BA	F3-1	2 BED	77 m²		NO	NO	4m³	NO
B	LEVEL 6 - NORTH	B603	2B+2BA	F17	2 BED	83 m²		YES	NO	4m³	NO
B	LEVEL 6 - NORTH	B604	3B	J8	3 BED	91 m²		YES	YES	5m³	NO
B	LEVEL 6 - NORTH	B605	1B	B16	1 BED	61 m²		NO	YES	3m³	NO
5						368 m²					
B	LEVEL 7 - NORTH	B701	1B	B2-2	1 BED	56 m²		YES	YES	3m³	NO
B	LEVEL 7 - NORTH	B702	2B+2BA	F3-1	2 BED	77 m²		YES	NO	4m³	NO
B	LEVEL 7 - NORTH	B703	2B+2BA	F17	2 BED	83 m²		YES	YES	4m³	NO
B	LEVEL 7 - NORTH	B704	3B	J8	3 BED	92 m²		YES	YES	5m³	NO
B	LEVEL 7 - NORTH	B705	1B	B16	1 BED	61 m²		YES	YES	3m³	NO
5						368 m²					
TOTAL: 61						4641 m²					

ACCOMMODATION SCHEDULE - BUILDING C											
BUILDING	LEVEL	UNIT NO.	BEDS	TYPE	BEDS	AREA	ADAPTABLE / LIVABLE	NATURAL CROSS VENTILATION	2 HOURS SOLAR ACCESS	APARTMENT STORAGE	AFFORDABLE HOUSING
C	LEVEL 1 (G) - SOUTH	C101	1B	B8-2	1 BED	50 m²	LIV	YES	YES	3m³	NO
C	LEVEL 1 (G) - SOUTH	C102	1B	B15	1 BED	59 m²	LIV	YES	YES	4m³	NO
C	LEVEL 1 (G) - SOUTH	C103	2B+2BA	F1-3	2 BED	77 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 1 (G) - SOUTH	C104	1B	B10	1 BED	59 m²		NO	YES	3m³	NO
C	LEVEL 1 (G) - SOUTH	C105	1B	B13	1 BED	86 m²		NO	YES	3m³	NO
C	LEVEL 1 (G) - SOUTH	C106	2B+2BA	F14	2 BED	88 m²		YES	NO	4m³	NO
C	LEVEL 1 (G) - SOUTH	C107	2B+2BA	F8	2 BED	75 m²		YES	NO	4m³	NO
C	LEVEL 1 (G) - SOUTH	C108	1B	B12	1 BED	52 m²		NO	YES	3m³	NO
C	LEVEL 1 (G) - SOUTH	C109	2B+2BA	F15-2	2 BED	79 m²		YES	YES	4m³	NO
C	LEVEL 1 (G) - SOUTH	C110	2B+2BA	F16-2	2 BED	85 m²		YES	YES	4m³	NO
10						710 m²					
C	LEVEL 2 - SOUTH	C201	1B	B8-1	1 BED	54 m²	LIV	YES	YES	3m³	NO
C	LEVEL 2 - SOUTH	C202	2B+2BA	F9-1	2 BED	75 m²	LIV	YES	YES	4m³	NO
C	LEVEL 2 - SOUTH	C203	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 2 - SOUTH	C204	2B+2BA	F1-2	2 BED	75 m²		NO	YES	4m³	NO
C	LEVEL 2 - SOUTH	C205	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 2 - SOUTH	C206	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 2 - SOUTH	C207	2B+2BA	F1-2	2 BED	76 m²		NO	YES	4m³	NO
C	LEVEL 2 - SOUTH	C208	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 2 - SOUTH	C209	2B+2BA	F15-1	2 BED	78 m²		YES	YES	4m³	NO
C	LEVEL 2 - SOUTH	C210	2B+2BA	F16-1	2 BED	83 m²		YES	NO	4m³	NO
C	LEVEL 2 - SOUTH	C211	2B+2BA	F8R	2 BED	77 m²		YES	NO	4m³	NO
C	LEVEL 2 - SOUTH	C212	1B	B4R	1 BED	53 m²		NO	NO	3m³	NO
C	LEVEL 2 - SOUTH	C213	1B	B4	1 BED	51 m²		NO	NO	3m³	NO
C	LEVEL 2 - SOUTH	C214	2B+2BA	F8	2 BED	75 m²		YES	NO	4m³	NO
14						1028 m²					
C	LEVEL 3 - SOUTH	C301	1B	B8-1	1 BED	54 m²	LIV	YES	YES	3m³	NO
C	LEVEL 3 - SOUTH	C302	2B+2BA	F9-1	2 BED	76 m²	LIV	YES	YES	4m³	NO
C	LEVEL 3 - SOUTH	C303	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 3 - SOUTH	C304	2B+2BA	F1-2	2 BED	75 m²		NO	YES	4m³	NO
C	LEVEL 3 - SOUTH	C305	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 3 - SOUTH	C306	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 3 - SOUTH	C307	2B+2BA	F1-2	2 BED	76 m²		NO	YES	4m³	NO
C	LEVEL 3 - SOUTH	C308	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 3 - SOUTH	C309	2B+2BA	F15-1	2 BED	78 m²		YES	YES	4m³	NO
C	LEVEL 3 - SOUTH	C310	2B+2BA	F16-1	2 BED	83 m²		YES	NO	4m³	NO
C	LEVEL 3 - SOUTH	C311	2B	F8R	2 BED	76 m²		YES	NO	4m³	NO
C	LEVEL 3 - SOUTH	C312	1B	B4R	1 BED	54 m²		NO	NO	3m³	NO
C	LEVEL 3 - SOUTH	C313	1B	B4	1 BED	51 m²		NO	NO	3m³	NO
C	LEVEL 3 - SOUTH	C314	2B+2BA	F8	2 BED	75 m²		YES	NO	4m³	NO
14						1028 m²					
C	LEVEL 4 - SOUTH	C401	1B	B8-1	1 BED	54 m²	LIV	YES	YES	3m³	NO
C	LEVEL 4 - SOUTH	C402	2B+2BA	F9-1	2 BED	76 m²	LIV	YES	YES	4m³	NO
C	LEVEL 4 - SOUTH	C403	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 4 - SOUTH	C404	2B+2BA	F1-2	2 BED	76 m²		NO	YES	4m³	NO
C	LEVEL 4 - SOUTH	C405	1B	F7R	1 BED	51 m²		NO	YES	3m³	NO
C	LEVEL 4 - SOUTH	C406	1B	F7	1 BED	51 m²		NO	YES	3m³	NO
C	LEVEL 4 - SOUTH	C407	2B+2BA	F1-2	2 BED	76 m²		NO	YES	4m³	NO
C	LEVEL 4 - SOUTH	C408	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 4 - SOUTH	C409	2B+2BA	F15-1	2 BED	78 m²		YES	YES	4m³	NO
C	LEVEL 4 - SOUTH	C410	2B+2BA	F16-1	2 BED	83 m²		YES	NO	4m³	NO
C	LEVEL 4 - SOUTH	C411	2B+2BA	F8R	2 BED	76 m²		YES	NO	4m³	NO
C	LEVEL 4 - SOUTH	C412	2B+2BA	B4R	2 BED	75 m²		NO	NO	4m³	NO
C	LEVEL 4 - SOUTH	C413	2B+2BA	B4	2 BED	75 m²		NO	NO	4m³	NO
C	LEVEL 4 - SOUTH	C414	2B+2BA	F8	2 BED	75 m²		YES	NO	4m³	NO
14						997 m²					
C	LEVEL 5 - SOUTH	C501	1B	B8-1	1 BED	54 m²	LIV	YES	YES	3m³	NO
C	LEVEL 5 - SOUTH	C502	2B+2BA	F9-1	2 BED	76 m²	LIV	YES	YES	4m³	NO
C	LEVEL 5 - SOUTH	C503	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 5 - SOUTH	C504	2B+2BA	F1-2	2 BED	75 m²		NO	YES	4m³	NO
C	LEVEL 5 - SOUTH	C505	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 5 - SOUTH	C506	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 5 - SOUTH	C507	2B+2BA	F1-2	2 BED	75 m²		NO	YES	4m³	NO
C	LEVEL 5 - SOUTH	C508	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 5 - SOUTH	C509	2B+2BA	F15-1	2 BED	78 m²		YES	YES	4m³	NO
C	LEVEL 5 - SOUTH	C510	2B+2BA	F16-1	2 BED	83 m²		YES	NO	4m³	NO
C	LEVEL 5 - SOUTH	C511	2B+2BA	F8R	2 BED	76 m²		YES	NO	4m³	NO
C	LEVEL 5 - SOUTH	C512	1B	B4R	1 BED	53 m²		NO	NO	3m³	NO
C	LEVEL 5 - SOUTH	C513	1B	B4	1 BED	51 m²		NO	NO	3m³	NO
C	LEVEL 5 - SOUTH	C514	2B+2BA	F8	2 BED	75 m²		YES	NO	4m³	NO
14						1027 m²					
C	LEVEL 6 - SOUTH	C601	2B+2BA	F9-1	2 BED	76 m²	LIV	YES	YES	4m³	NO
C	LEVEL 6 - SOUTH	C602	2B+2BA	F2-4	2 BED	76 m²	ADAPT/LIV	NO	YES	4m³	NO
C	LEVEL 6 - SOUTH	C603	2B+2BA	F1-2	2 BED	75 m²		NO	YES	4m³	NO
C	LEVEL 6 - SOUTH	C604	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 6 - SOUTH	C605	2B+2BA	F7	2 BED	90 m²		YES	YES	4m³	NO
C	LEVEL 6 - SOUTH	C606	3B	F1-2	2 BED	75 m²		NO	YES	4m³	NO
C	LEVEL 6 - SOUTH	C607	2B+2BA	F2-4	2 BED	76 m²	LIV	NO	YES	4m³	NO
C	LEVEL 6 - SOUTH	C608	2B	F15-1	2 BED	78 m²		YES	YES	4m³	NO
C	LEVEL 6 - SOUTH	C609	2B+2BA	F16-1	2 BED	83 m²		YES	NO	4m³	NO
C	LEVEL 6 - SOUTH	C610	2B+2BA	F8	2 BED	76 m²		YES	NO	4m³	NO
C	LEVEL 6 - SOUTH	C611	1B	B4-1	1 BED	53 m²		NO	NO	3m³	NO
C	LEVEL 6 - SOUTH	C612	1B	B4	1 BED	51 m²		NO	NO	3m³	NO
C	LEVEL 6 - SOUTH	C613	2B+2BA	F8	2 BED	75 m²		YES	NO	4m³	NO
13						973 m²					
C	LEVEL 7 - SOUTH	C701	3B	J5	3 BED	100 m²		YES	YES	5m³	NO
C	LEVEL 7 - SOUTH	C702	2B+2BA	F2-4	2 BED	76 m²	LIV	NO	YES	4m³	NO
C	LEVEL 7 - SOUTH	C703	2B	F15-1	2 BED	78 m²		YES	YES	4m³	NO
C	LEVEL 7 - SOUTH	C704	2B	J4	2 BED	83 m²		YES	YES	4m³	NO
C	LEVEL 7 - SOUTH	C705	2B+2BA	F8	2 BED	76 m²		YES	NO	4m³	NO
C	LEVEL 7 - SOUTH	C706	2B+2BA	B4R	1 BED	50 m²		YES	NO	3m³	NO
6						463 m²					
C	LEVEL 8 - SOUTH	C801	3B	J7	3 BED	106 m²		YES	YES	5m³	NO
C	LEVEL 8 - SOUTH	C802	2B+2BA	F2-4	2 BED	76 m²	LIV	YES	YES	4m³	NO
C	LEVEL 8 - SOUTH	C803	2B	F15-3	2 BED	80 m²		YES	YES	4m³	NO
C	LEVEL 8 - SOUTH	C804	2B+2BA	F16-1	2 BED	83 m²		YES	YES	4m³	NO
C	LEVEL 8 - SOUTH	C805	3B	J8	3 BED	112 m²		YES	YES	5m³	NO
5						457 m²					
TOTAL: 90						6683 m²					

PARKING SCHEDULE BUILDING A+B		
LEVEL	TYPE	NO.
BASEMENT 2 - NORTH	RESIDENTIAL (TANDEM) - 2400 x 5500	4
BASEMENT 2 - NORTH	RESIDENTIAL - 2500 x 5500	68
72		
LEVEL LG (B1) - NORTH	LOADING BAY/VISITOR	1
LEVEL LG (B1) - NORTH	RESIDENTIAL (TANDEM) - 2400 x 5500	5
LEVEL LG (B1) - NORTH	RESIDENTIAL - 2500 x 5500	14
LEVEL LG (B1) - NORTH	RESIDENTIAL ACCESSIBLE - 2500 x 5500	8
LEVEL LG (B1) - NORTH	RESIDENTIAL VISITOR - 2500 x 5500	20
LEVEL LG (B1) - NORTH	RESIDENTIAL VISITOR ACCESSIBLE - 2500 x 5500	1
49		
121		

PARKING SCHEDULE BUILDING C		
LEVEL	TYPE	NO.
BASEMENT 4 - SOUTH	RESIDENTIAL 5400 x 2500 PARALLEL	3
BASEMENT 4 - SOUTH	RESIDENTIAL - 2500 x 5500	32
35		
BASEMENT 3 - SOUTH	RESIDENTIAL 5400 x 2500 PARALLEL	3
BASEMENT 3 - SOUTH	RESIDENTIAL - 2500 x 5500	27
BASEMENT 3 - SOUTH	RESIDENTIAL ACCESSIBLE - 2500 x 5500	1
31		
BASEMENT 2 - SOUTH	RESIDENTIAL 5400 x 2500 PARALLEL	3
BASEMENT 2 - SOUTH	RESIDENTIAL (TANDEM) - 2400 x 5500	3
BASEMENT 2 - SOUTH	RESIDENTIAL - 2500 x 5500	12
BASEMENT 2 - SOUTH	RESIDENTIAL ACCESSIBLE - 2500 x 5500	9
BASEMENT 2 - SOUTH	RESIDENTIAL VISITOR - 2500 x 5500	3
30		
BASEMENT 1 - SOUTH	LOADING BAY/VISITOR	1
BASEMENT 1 - SOUTH	RESIDENTIAL VISITOR - 2500 x 5500	17
BASEMENT 1 - SOUTH	RESIDENTIAL VISITOR ACCESSIBLE - 2500 x 5500	2
20		
116		

PARKING SCHEDULE BUILDING A+B (BY TYPE)		
TYPE		NO.
LOADING BAY/VISITOR		1
RESIDENTIAL (TANDEM) - 2400 x 5500		9
RESIDENTIAL - 2500 x 5500		82
RESIDENTIAL ACCESSIBLE - 2500 x 5500		8
RESIDENTIAL VISITOR - 2500 x 5500		20
RESIDENTIAL VISITOR ACCESSIBLE - 2500 x 5500		1
121		

PARKING SCHEDULE BUILDING C (BY TYPE)		
TYPE		NO.
LOADING BAY/VISITOR		1
RESIDENTIAL 5400 x 2500 PARALLEL		9
RESIDENTIAL (TANDEM) - 2400 x 5500		3
RESIDENTIAL - 2500 x 5500		71
RESIDENTIAL ACCESSIBLE - 2500 x 5500		10
RESIDENTIAL VISITOR - 2500 x 5500		20
RESIDENTIAL VISITOR ACCESSIBLE - 2500 x 5500		2
116		

CAR PARKING RATES:	
1 BED	1
2 BED	1
3 BED	2
RESIDENTIAL VISITOR	1/4 (DCP)
ADAPTABLE	10% (DCP)
BUILDING A + B CAR PARKING:	
1 BED x 30	30
2 BED x 47	47
3 BED x 11	22
RESIDENTIAL VISITOR	22
TOTAL	121
ADAPTABLE	8.9(9)
BUILDING C CAR PARKING:	
1 BED x 20	20
2 BED x 67	67
3 BED x 3	6
RESIDENTIAL VISITOR	22.5 (23)
TOTAL	116
ADAPTABLE	9

LIVERPOOL LEP 2008	
gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:	
(a)	the area of a mezzanine, and
(b)	habitable rooms in a basement or an attic, and
(c)	any shop, auditorium, cinema, and the like, in a basement or attic:
but excludes:	
(d)	any area for common vertical circulation, such as lifts and stairs, and any basement:
(e)	(i) storage, and
	(ii) vehicular access, loading areas, garbage and services, and
(f)	plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
(g)	car parking to meet any requirements of the consent authority (including access to that car parking), and
(h)	any space used for the loading or unloading of goods (including access to it), and
(i)	terraces and balconies with outer walls less than 1.4 metres high, and
(j)	voids above a floor at the level of a storey or storey above.

AFFORDABLE HOUSING AREA SCHEDULE		
BUILDING	LEVEL	AREA (m²)
A	LEVEL 1 (G) - NORTH	570 m²
A	LEVEL 2 - NORTH	603 m²
A	LEVEL 3 - NORTH	603 m²
A	LEVEL 4 - NORTH	603 m²
TOTAL		2380 m²

MINIMUM AFFORDABLE HOUSING (15% TOTAL GFA) 2380 m²

FOR AFFORDABLE HOUSING AREA DIAGRAMs - REFER TO DRAWING 8018.

RESIDENTIAL (TANDEM) - 2400 x 5500	9
RESIDENTIAL - 2500 x 5500	82
RESIDENTIAL ACCESSIBLE - 2500 x 5500	8
99	
LOADING BAY/VISITOR	1
RESIDENTIAL VISITOR - 2500 x 5500	20
RESIDENTIAL VISITOR ACCESSIBLE - 2500 x 5500	1
22	

RESIDENTIAL 5400 x 2500 PARALLEL	9
RESIDENTIAL (TANDEM) - 2400 x 5500	3
RESIDENTIAL - 2500 x 5500	71
RESIDENTIAL ACCESSIBLE - 2500 x 5500	10
93	
LOADING BAY/VISITOR	1
RESIDENTIAL VISITOR - 2500 x 5500	20
RESIDENTIAL VISITOR ACCESSIBLE - 2500 x 5500	2
23	

SOLAR ACCESS (9AM-3PM)	
YES	
124/178 (69.7%)	
ADG GUIDELINE = 125.3 (70%)	

APPROVED APARTMENTS RECEIVING >2 HRS SOLAR ACCESS AT MID WINTER 97
ADDITIONAL APARTMENTS RECEIVING >2 HRS SOLAR ACCESS AT MID-WINTER 27

NATURAL CROSS VENTILATION	
YES	
111/178 (62.4%)	
ADG GUIDELINE = 107.4 (60%)	
APPROVED APARTMENTS ACHIEVING NATURAL CROSS VENTILATION	82
ADDITIONAL APARTMENTS ACHIEVING NATURAL CROSS VENTILATION	29

SEPP (HOUSING) 2023 - CL 12a - LIMITATION ON ADDITIONAL FLOOR SPACE RATIO	
The maximum floor space ratio for the development is 130% of the maximum permissible floor space ratio.	

SEPP (HOUSING) 2023 - CL 17(1) - Additional floor space	
The maximum floor space ratio for development to which this division applies is 130% of the maximum permissible floor space ratio for residential accommodation on the land.	

SEPP (HOUSING) 2023 - CL 16(1)(b) - Development to which division applies	
At least 15% of the gross floor area of the part of the building resulting from the development that is used for residential development will be used for the purposes of affordable housing.	

GFA SCHEDULE			
LEVEL	GFA (m²)	FSR (x:1)	
BUILDING A:			
LEVEL 1 (G) - NORTH	570.01	0.06	
LEVEL 2 - NORTH	603.23	0.06	
LEVEL 3 - NORTH	603.26	0.06	
LEVEL 4 - NORTH	603.24	0.06	
	2379.74	0.24	
BUILDING B (0.75:1 PORTION):			
LEVEL LG (B1) - NORTH	93.17	0.01	
LEVEL 1 (G) - NORTH	669.72	0.07	
LEVEL 2 - NORTH	718.11	0.07	
LEVEL 3 - NORTH	727.58	0.07	
LEVEL 4 - NORTH	722.57	0.07	
LEVEL 5 - NORTH	156.06	0.02	
LEVEL 6 - NORTH	156.05	0.02	
LEVEL 7 - NORTH	156.05	0.02	
	3399.31	0.34	
BUILDING B (1.5:1 PORTION):			
LEVEL LG (B1) - NORTH	215.01	0.02	
LEVEL 1 (G) - NORTH	275.28	0.03	
LEVEL 2 - NORTH	274.88	0.03	
LEVEL 3 - NORTH	274.88	0.03	
LEVEL 4 - NORTH	274.49	0.03	
LEVEL 5 - NORTH	274.64	0.03	
LEVEL 6 - NORTH	274.64	0.03	
LEVEL 7 - NORTH	274.64	0.03	
	2138.46	0.21	
BUILDING C:			
LEVEL 1 (G) - SOUTH	913.53	0.09	
LEVEL 2 - SOUTH	1198.52	0.12	
LEVEL 3 - SOUTH	1202.33	0.12	
LEVEL 4 - SOUTH	1192.39	0.12	
LEVEL 5 - SOUTH	1200.53	0.12	
LEVEL 6 - SOUTH	1137.56	0.11	
LEVEL 7 - SOUTH	567.36	0.06	
LEVEL 8 - SOUTH	537.77	0.05	
	7949.99	0.79	
PROPOSED TOTAL	15867.49	1.57	
PROPOSED (0.75:1 PORTION)			
	5779.05	1.46	
PROPOSED (1.5:1 PORTION)			
	10088.45	1.64	
TOTAL DEVELOPMENT SITE AREA:			
SITE AREA - NORTH (0.75:1)	10111.5		
SITE AREA - SOUTH (1.5:1)	3948.5		
	6163		
(EXCLUDES ROAD WIDENING + RE1 LAND)			
MAXIMUM PERMISSIBLE (LEP)			
	12205.88	1.21	
MAXIMUM PERMISSIBLE (130% MAXIMUM PERMISSIBLE GFA)			
	15867.64	1.57	

LANDSCAPED OPEN SPACE SCHEDULE	
NAME	LANDSCAPED AREA (m²)
LANDSCAPED AREA 1	2782 m²
LANDSCAPED AREA 2	1077 m²
LANDSCAPED AREA 3	680 m²
TOTAL	4523 m² (44.7%)
SITE AREA	10111.5 m²
MINIMUM REQUIRED LANDSCAPED AREA	3033.45 m² (30% SITE AREA)
SEPP (HOUSING) 2023 - CL 19(2)(b)	
NOTE: PUBLIC RESERVATION DEDICATIONS HAVE BEEN EXCLUDED	

DEEP SOIL SCHEDULE	
NAME	LANDSCAPED AREA (m²)
DEEP SOIL AREA 1	1753 m²
DEEP SOIL AREAS 2-4	530 m²
TOTAL	2283 m² (22.6%)
SITE AREA	10111.5 m²
MINIMUM RECOMMENDED DEEP SOIL ZONE OBJECTIVE 3E-1	707.8 m² (7% SITE AREA)
NOTE: PUBLIC RESERVATION DEDICATIONS HAVE BEEN EXCLUDED	

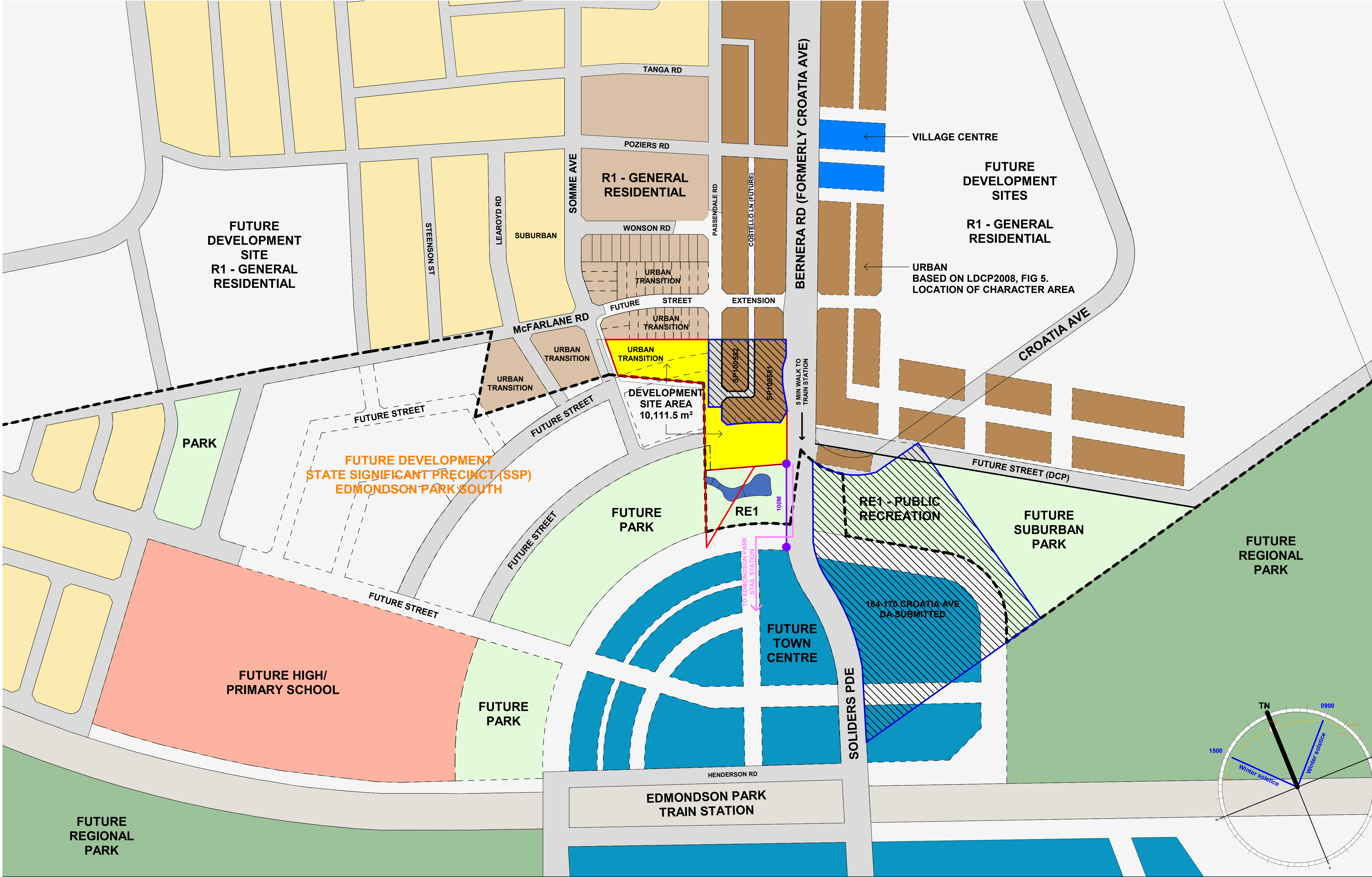
COMMUNAL OPEN SPACE SCHEDULE	
NAME	LANDSCAPED AREA (m²)
COMMUNAL OPEN AREA 1	2782 m²
COMMUNAL OPEN AREA 2	1077 m²
COMMUNAL OPEN AREA 3	680 m²
TOTAL	4523 m² (44.7%)
SITE AREA	10111.5 m²
MINIMUM RECOMMENDED COMMUNAL OPEN SPACE	2527.88m² (25% SITE AREA)
NOTE: PUBLIC RESERVATION DEDICATIONS HAVE BEEN EXCLUDED	

LIVABLE APARTMENT SCHEDULE			
UNIT NO.	TYPE	LEVEL	ADAPTABLE / LIVABLE
A204	B1	LEVEL 2 - NORTH	LIV
A304	B1	LEVEL 3 - NORTH	LIV
A404	B1	LEVEL 4 - NORTH	LIV
B305	B1-1	LEVEL 3 - NORTH	LIV
B105	B1-1	LEVEL 1 (G) - NORTH	LIV
B205	B1-1	LEVEL 2 - NORTH	LIV
B405	B1-1	LEVEL 4 - NORTH	LIV
C201	B8-1	LEVEL 2 - SOUTH	LIV
C301	B8-1	LEVEL 3 - SOUTH	LIV
C401	B8-1	LEVEL 4 - SOUTH	LIV
C501	B8-1	LEVEL 5 - SOUTH	LIV
C101	B8-2	LEVEL 1 (G) - SOUTH	LIV
B306	B14	LEVEL 3 - NORTH	ADAPT/LIV
B106	B14	LEVEL 1 (G) - NORTH	ADAPT/LIV
B206	B14	LEVEL 2 - NORTH	ADAPT/LIV
B406	B14	LEVEL 4 - NORTH	ADAPT/LIV
C102	B15	LEVEL 1 (G) - SOUTH	LIV
C103	F1-3	LEVEL 1 (G) - SOUTH	ADAPT/LIV
A203	F2-2	LEVEL 2 - NORTH	ADAPT/LIV
A303	F2-2	LEVEL 3 - NORTH	ADAPT/LIV
A403	F2-2	LEVEL 4 - NORTH	ADAPT/LIV
A103	F2-3	LEVEL 1 (G) - NORTH	ADAPT/LIV
C208	F2-4	LEVEL 2 - SOUTH	ADAPT/LIV
C203	F2-4	LEVEL 2 - SOUTH	ADAPT/LIV
C308	F2-4	LEVEL 3 - SOUTH	ADAPT/LIV
C303	F2-4	LEVEL 3 - SOUTH	ADAPT/LIV
C408	F2-4	LEVEL 4 - SOUTH	ADAPT/LIV
C403	F2-4	LEVEL 4 - SOUTH	ADAPT/LIV
C508	F2-4	LEVEL 5 - SOUTH	ADAPT/LIV
C503	F2-4	LEVEL 5 - SOUTH	ADAPT/LIV
C607	F2-4	LEVEL 6 - SOUTH	LIV
C602	F2-4	LEVEL 6 - SOUTH	ADAPT/LIV
C702	F2-4	LEVEL 7 - SOUTH	LIV
C802	F2-4	LEVEL 8 - SOUTH	LIV
C202	F9-1	LEVEL 2 - SOUTH	LIV
C302	F9-1	LEVEL 3 - SOUTH	LIV
C402	F9-1	LEVEL 4 - SOUTH	LIV
C502	F9-1	LEVEL 5 - SOUTH	LIV
C601	F9-1	LEVEL 6 - SOUTH	LIV
B301	J2-1	LEVEL 3 - NORTH	LIV
B201	J2-1	LEVEL 2 - NORTH	LIV
B401	J2-1	LEVEL 4 - NORTH	LIV
TOTAL: 42			
LIVABLE APARTMENTS 42/178 (23.6%)			
MINIMUM RECOMMENDED (ADG) 35.8 (20%)			
LIVABLE APARTMENTS APPROVED 33			
LIVABLE APARTMENTS ADDITIONAL PROPOSED 9			
FOR LIVABLE APARTMENT DETAILS - REFER TO DRAWING 8014-8015.			

ADAPTABLE APARTMENT SCHEDULE			
UNIT NO.	LEVEL	TYPE	ADAPTABLE / LIVABLE
B106	LEVEL 1 (G) - NORTH	B14	ADAPT/LIV
B206	LEVEL 2 - NORTH	B14	ADAPT/LIV
B306	LEVEL 3 - NORTH	B14	ADAPT/LIV
B406	LEVEL 4 - NORTH	B14	ADAPT/LIV
C103	LEVEL 1 (G) - SOUTH	F1-3	ADAPT/LIV
A203	LEVEL 2 - NORTH	F2-2	ADAPT/LIV
A303	LEVEL 3 - NORTH	F2-2	ADAPT/LIV
A403	LEVEL 4 - NORTH	F2-2	ADAPT/LIV
A103	LEVEL 1 (G) - NORTH	F2-3	ADAPT/LIV
C208	LEVEL 2 - SOUTH	F2-4	ADAPT/LIV
C203	LEVEL 2 - SOUTH	F2-4	ADAPT/LIV
C308	LEVEL 3 - SOUTH	F2-4	ADAPT/LIV
C303	LEVEL 3 - SOUTH	F2-4	ADAPT/LIV
C408	LEVEL 4 - SOUTH	F2-4	ADAPT/LIV
C403	LEVEL 4 - SOUTH	F2-4	ADAPT/LIV
C508	LEVEL 5 - SOUTH	F2-4	ADAPT/LIV
C503	LEVEL 5 - SOUTH	F2-4	ADAPT/LIV
C602	LEVEL 6 - SOUTH	F2-4	ADAPT/LIV
TOTAL: 18			
ADAPTABLE APARTMENTS 18/178 (10.1%)			
MINIMUM REQUIRED ADAPTABLE APARTMENTS (DCP) 17.9 (10%)			
FOR ADAPTABLE APARTMENT DETAILS - REFER TO DRAWING 8014-8015.			

BASEMENT STORAGE SCHEDULE		
BUILDING	LEVEL	NO.
A + B	BASEMENT 2 - NORTH	69
A + B	LEVEL LG (B1) - NORTH	19
		88
C	BASEMENT 4 - SOUTH	35
C	BASEMENT 3 - SOUTH	31
C	BASEMENT 2 - SOUTH	24
		90
TOTAL: 178		178

amendment		date	legend	architect	project	
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21		<div>stanisic architects</div> <div>Level 10 257 Clarence Street, Sydney NSW 2000 T (61 2) 9358 2588 www.stanisic.com.au ABN 11002633481 NSW ARB Frank Stanisic 4480</div>	RESIDENTIAL APARTMENT DEVELOPMENT	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22			LOT 101 DP 1267563 SOMME AVENUE	
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24			EDMONDSON PARK	
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24			DEVELOPMENT DATA	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24				
				client	checked	drawing
				CROATIA 88 PTY LTD	JN	
				scale	drawn	issue
					SV	C
				scale bar	project no	drawing no
					20 117	DA 0003
do not scale from drawings.		the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.				



issue

amendment

date

A

ISSUE FOR DEVELOPMENT APPLICATION

03.11.21

B

ISSUE FOR AMENDING DEVELOPMENT APPLICATION

29.02.24

Town Centre

Regional Park

Suburban Park

Village Centre

Urban Housing

Urban Transition Housing

Suburban Housing

State Significant Precinct (SSP)

High School/ Primary School

Train line

Site

Anticipated Street Network

DA Submitted/ Approved

RE1 Zoning

Existing Boundary Extinguished

Edmondson Park LEP/ DCP Boundary

Existing Creek

architect

stanisic architects

Level 10 257 Clarence Street, Sydney NSW 2000
T (61 2) 9356 2588
www.stanisic.com.au ABN 11002633481
NSW ARB Frank Stanisic 4480

client

CROATIA 88 PTY LTD

scale

1:2000@A1
1:4000@A3

scale bar

0 20 40 60 80 100 m

project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked

FS

drawn

JN

project no

20 117

drawing no

issue

B

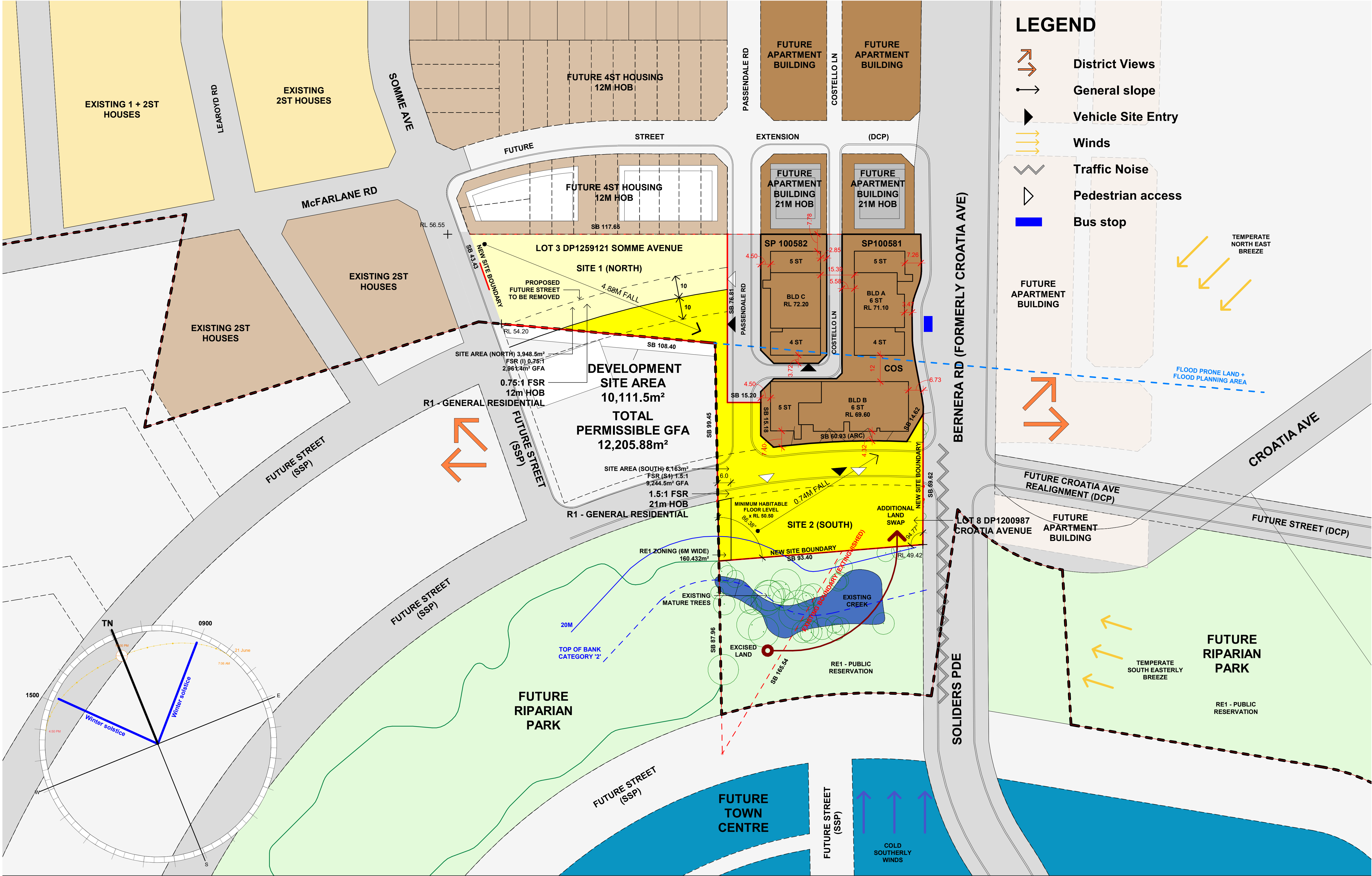
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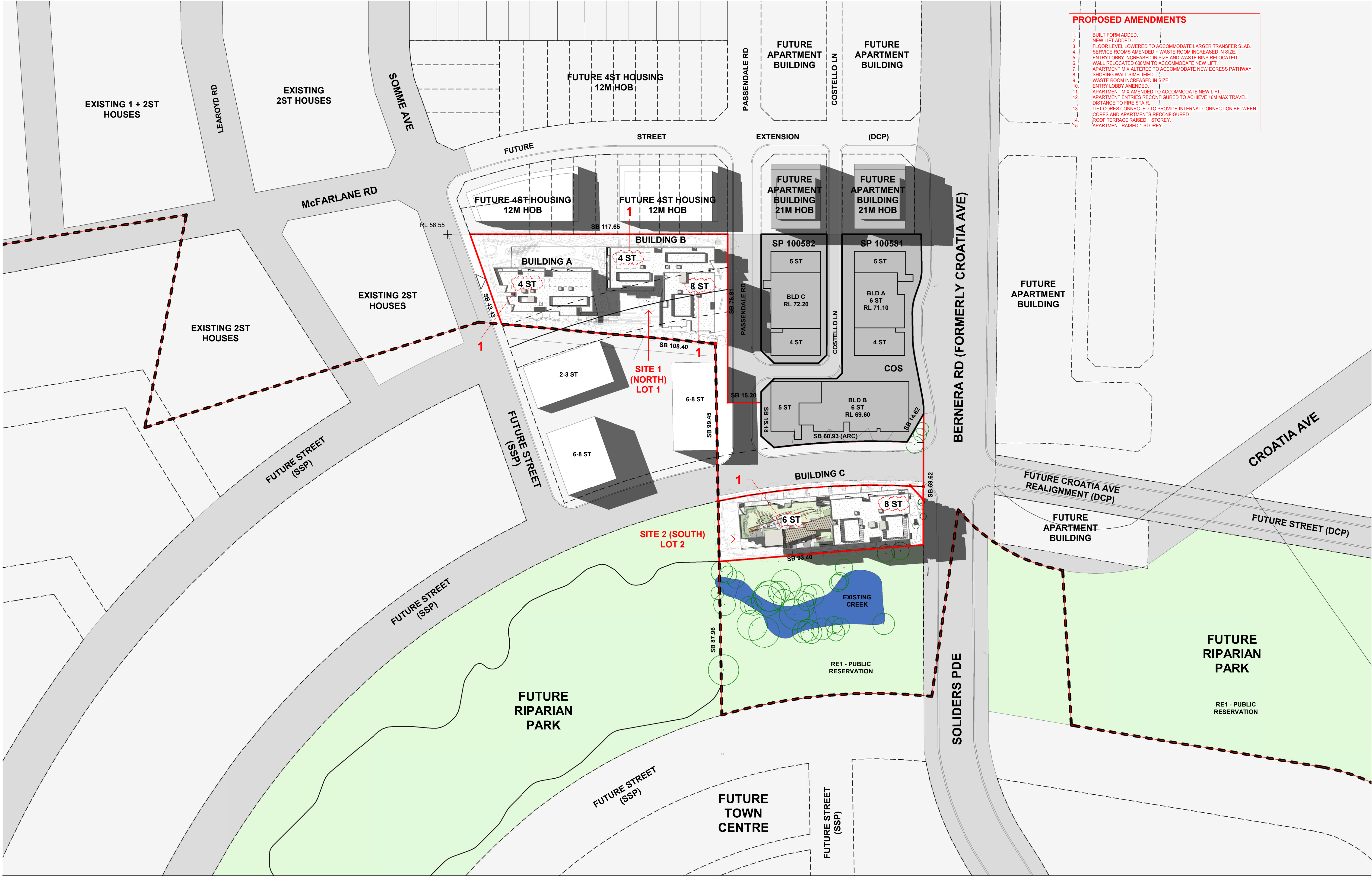
DA 0004

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do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.





- PROPOSED AMENDMENTS**
1. BUILT FORM ADDED.
 2. NEW LIFT ADDED.
 3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB.
 4. SERVICE ROOMS AMENDED - WASTE ROOM INCREASED IN SIZE.
 5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
 6. WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
 7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
 8. SHORING WALL SIMPLIFIED.
 9. WASTE ROOM INCREASED IN SIZE.
 10. ENTRY LOBBY AMENDED.
 11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
 12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIR.
 13. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
 14. ROOF TERRACE RAISED 1 STOREY.
 15. APARTMENT RAISED 1 STOREY.

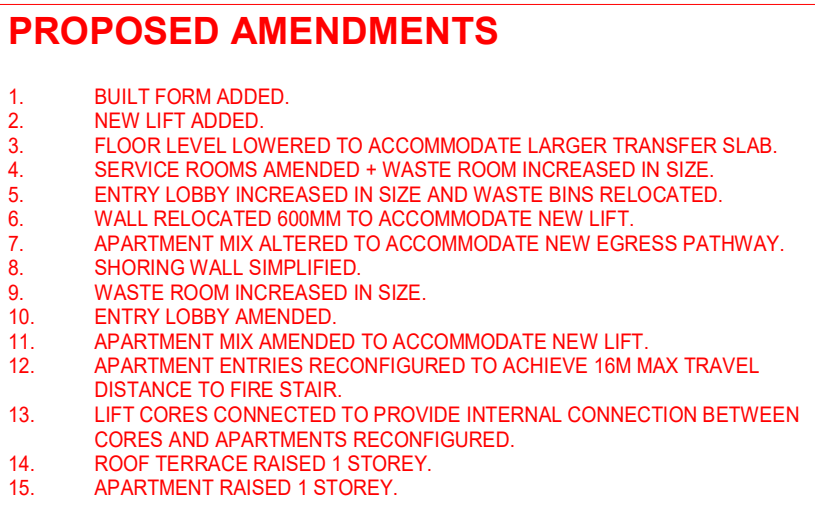
issue	amendment	date	legend	architect	client	scale	scale bar	project	checked	drawing	FS	drawn	issue	C
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21		stanisic architects	CROATIA 88 PTY LTD	1:800@A1	0 8 16 24 32 40 m	RESIDENTIAL APARTMENT DEVELOPMENT						
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22		Level 10 257 Clarence Street, Sydney NSW 2000		1:1600@A3		LOT 101 DP 1267563 SOMME AVENUE						
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24		T (61 2) 9358 2588				EDMONDSON PARK						
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24		www.stanisic.com.au ABN 11002633481										
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24		NSW ARB Frank Stanisic 4480										

1/03/2024 4:49:42 PM

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

DA 0006



issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	AMENDMENTS INCORPORATING DEP COMMENTS
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

drawing no.

scale 1:200@A1
1:400@A3

scale bar 0 2 4 6 8 10 m

project no	20 117
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1. BUILT FORM ADDED.
2. NEW LIFT ADDED.
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
6. WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. ENTRY LOBBY ADDED.
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL
13. STAIRS TO RISE STAY.
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN
15. CORES AND APARTMENTS RECONFIGURED.
16. ROOF TERRACE RAISED 1 STOREY.
17. APARTMENT RAISED 1 STOREY.

[illegible]

issue	amendment	date
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22
P1	ISSUE FINAL SKETCH DESIGN	16.01.24
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

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CROATIA 88 PTY LTD

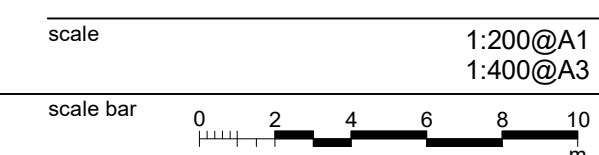
project

LEVEL LG (B1) PLAN - BLD A+B

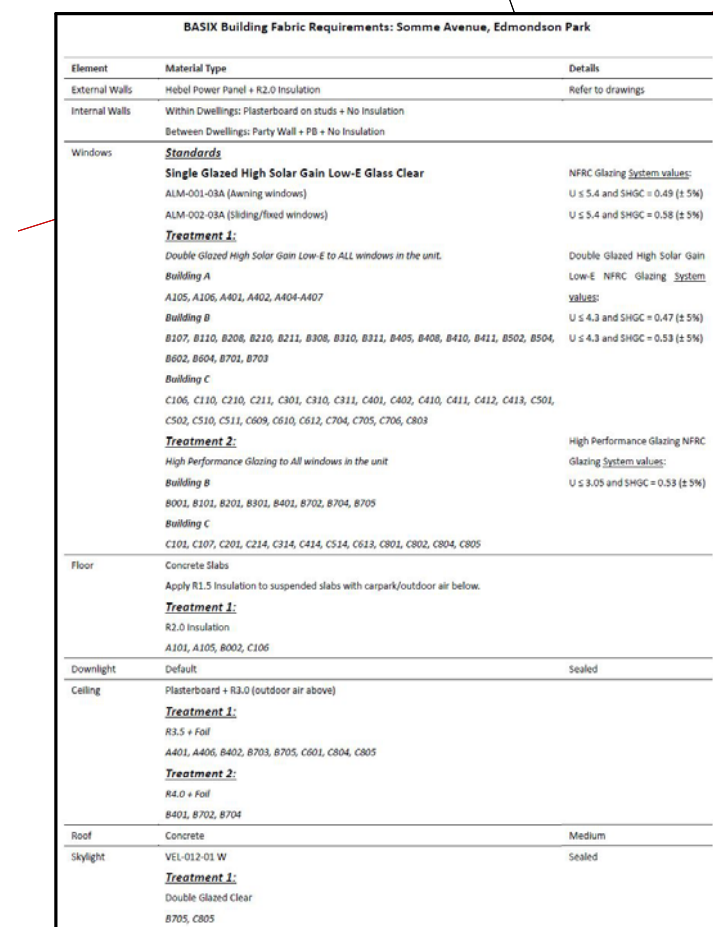
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Training the

DA 1002



1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
6. WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL
13. STARTED TO FIRE STAIR
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
15. ROOF TERRACE RAISED 1 STOREY
16. APARTMENT RAISED 1 STOREY.



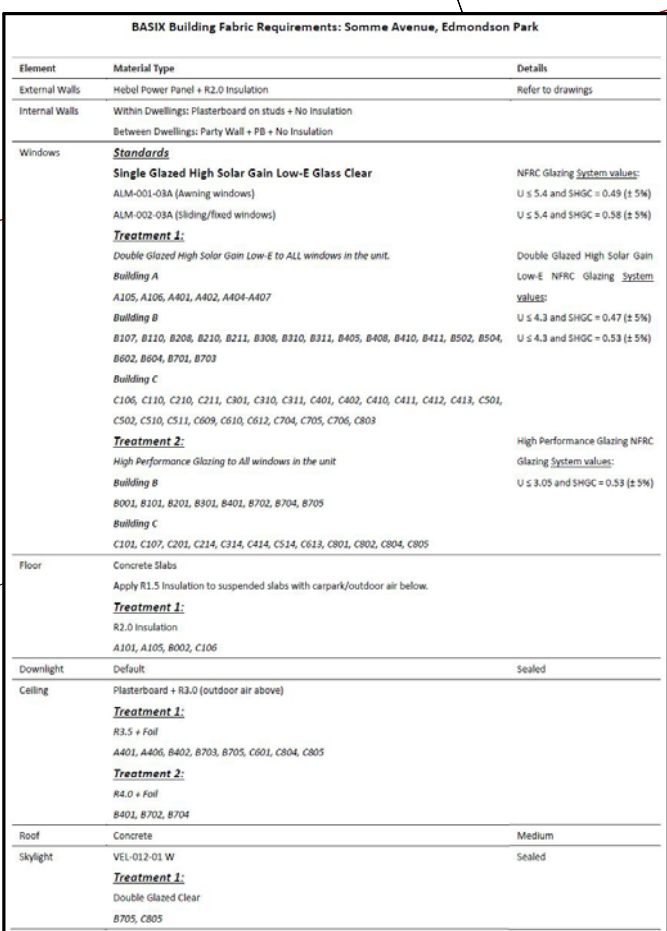
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project no 20 117 drawing no DA 1003

do not scale from drawings.		the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.		scale bar		project no		drawing no		DA 1003	
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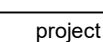
1. BUILT FORM ADDED.
2. NEW LIFT ADDED.
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BIN RELOCATED.
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT.
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. APARTMENT MIX AMENDED.
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architect

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checked	drawing
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JN. SV

issue

LEVEL 3 PLAN BID A+B

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIR
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



SB 117.65

SOMME AVE

COURTYARD WINTER
(REFER TO LANDSCAPE ARCHITECT DWGS)

COURTYARD SUMMER
(REFER TO LANDSCAPE ARCHITECT DWGS)

PASSENDALE RD

[illegible]

2-3 ST

6-8 ST

issue	amendment	date
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22
P1	ISSUE FINAL SKETCH DESIGN	16.01.24
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24

legend

architect

stanisic architects

Level 10 257 Clarence Street, Sydney NSW 2000
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www.stanislac.com.au ABN 11002633481
NSW ARB Frank Stanislac 4480

client

CROATIA 88 PTY LTD

north

project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

LEVEL 3 PLAN - BLD A+B

checked	drawing
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FS

growth

[illegible]

JN. SV

issue

project no	drawing
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20 117

draw

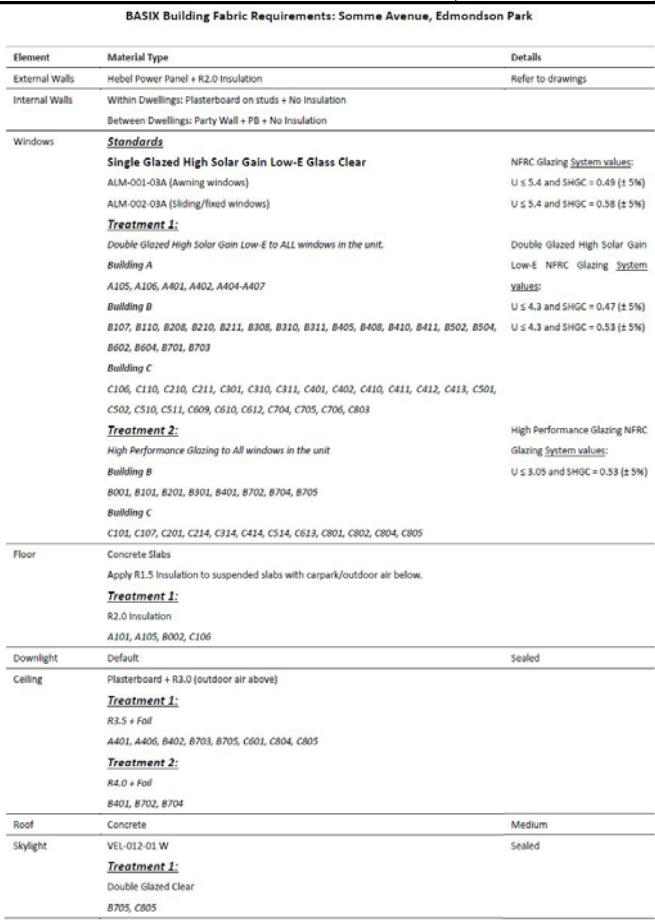
C

DA 1005

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

2. BUILT FORM ADDED
3. NEW LIFT ADDED
4. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
5. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
6. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
7. WALLS AND CEILING RECONFIGURED TO ACCOMMODATE NEW LIFT
8. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
9. SHORING WALL SIMPLIFIED.
10. WASTE ROOM INCREASED IN SIZE.
11. ENTRY LOBBY AMENDED
12. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
13. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 10M MAX TRAVEL DISTANCE TO FIRE STAIR.
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
15. ROOF TERRACE RAISED 1 STOREY
16. APARTMENT RAISED 1 STOREY.



date	legend
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NSW ARB Frank Stanisic 4480

project

checked	FS	drawing
drawn	JN, SV	issue
project no	20 117	drawing no

DA 1006

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

PROPOSED AMENDMENTS

- BUILT FORM ADDED.
- NEW LIFT ADDED.
- FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB.
- SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
- ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
- WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
- APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
- SHORING WALL SIMPLIFIED.
- WASTE ROOM INCREASED IN SIZE.
- ENTRY LOBBY AMENDED.
- APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
- APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIR.
- LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
- ROOF TERRACE RAISED 1 STOREY.
- APARTMENT RAISED 1 STOREY.

FUTURE 4ST HOUSING
12M HOB

FUTURE 4ST HOUSING
12M HOB

BUILDING A

BUILDING B

SOMME AVE

PASSEDALE RD

2-3 ST

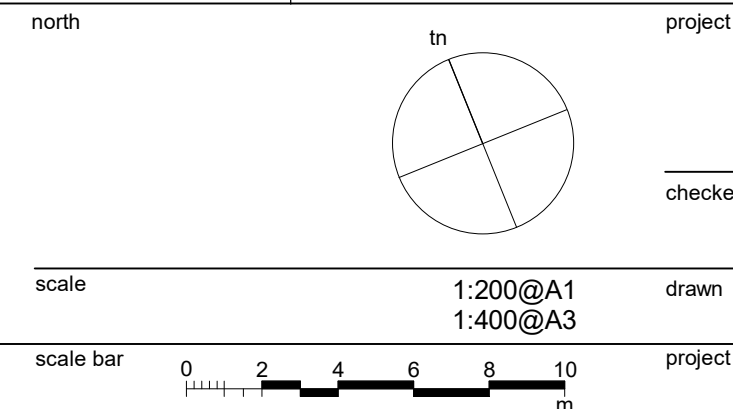
6-8 ST

BASIX Building Fabric Requirements: Somme Avenue, Edmondson Park		
Element	Material Type	Details
External Walls	Insulated Concrete Formwork (ICF) or equivalent	Refer to drawings
Internal Walls	Brick Veneer / Gypsum Board / Fibre Cement Sheet	Refer to drawings
Windows	Double Glazed High Solar Gain Low-E Glass	U < 0.54 and SHGC < 0.45 (U < 0.54 and SHGC < 0.45) (U < 0.54 and SHGC < 0.45)
Roofs	Asph/Flt or equivalent	U < 0.18 and SHGC < 0.45 (U < 0.18 and SHGC < 0.45)
Floors	Concrete Slab	U < 0.18 and SHGC < 0.45 (U < 0.18 and SHGC < 0.45)
Doors	Solid Core	U < 0.18 and SHGC < 0.45 (U < 0.18 and SHGC < 0.45)
Shading	Overhangs	Refer to drawings
Lighting	LED	Refer to drawings
Water	Water Efficient Fixtures	Refer to drawings
Energy	Energy Efficient Appliances	Refer to drawings

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
P1	ISSUE FINAL SKETCH DESIGN	16.01.24	
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

architect
stanisic architects
client
CROATIA 88 PTY LTD

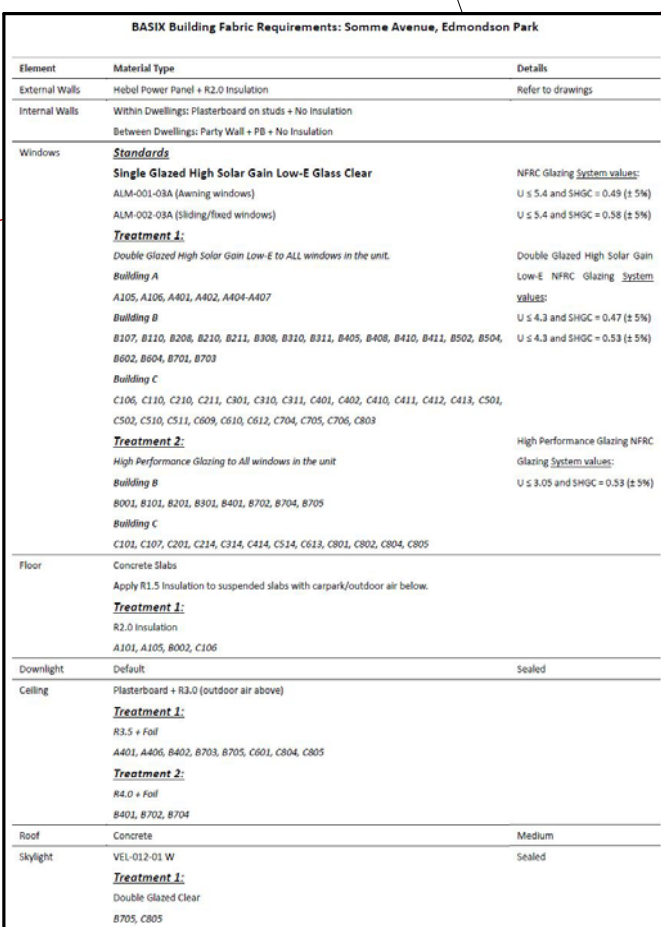
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RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
LEVEL 5 PLAN - BLD A+B

C

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIR
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



date	legend
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project

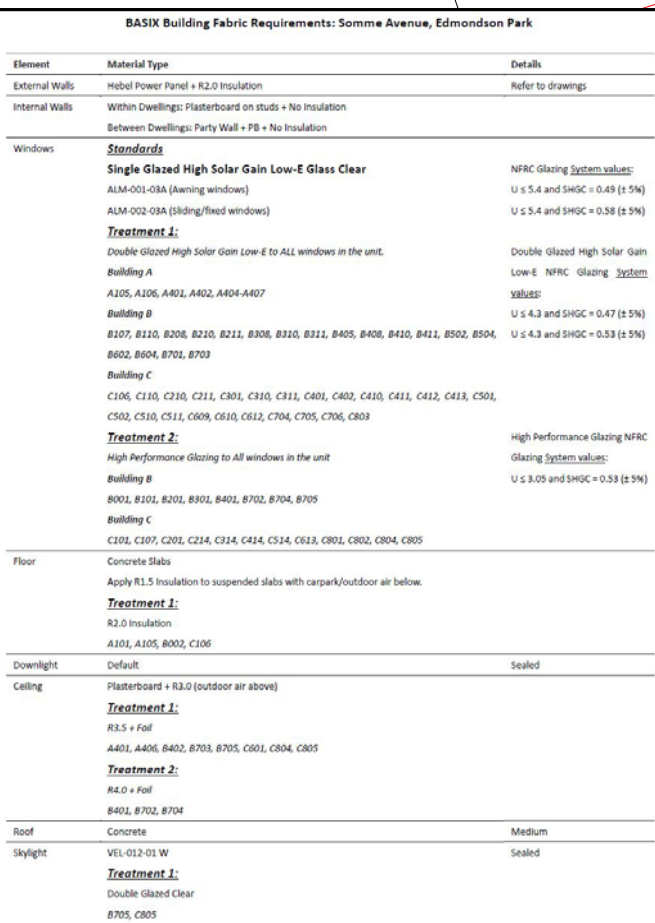
drawing no

DA 1000

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1. BUILT FORM ADDED.
2. NEW LIFT ADDED.
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB.
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
6. WALLS AND CEILING RECONFIGURED TO ACCOMMODATE NEW LIFT.
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. ENTRY LOBBY AMENDED.
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIRS.
13. LIFT CORE CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
14. ROOF TERRACE RAISED 1 STOREY.
15. APARTMENT RAISED 1 STOREY.



A

DA 1009

1. BUILD FORM ADDED.
2. NEW LIFT ADDED.
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB.
4. SERVICE ROOMS INCREASED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY AMENDED IN SIZE AND WASTE BIN RELOCATED.
6. WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
7. ENTRY POINT MAY ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHOWING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. ENTRY LOBBY AMENDED.
11. APARTMENT MAY AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 10M MAX TRAVEL.
13. DISTANCE TO FIRE STAIRS.
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
15. ROOF TERRACE RAISED 100mm TO ACCOMMODATE NEW LIFT.
16. APARTMENT RAISED 1 STOREY.



SB 117.65

SONNIE AVE

SB A3.A3

PASSENDALE RD

SB 76.81

[illegible]

2-3 ST

6-8 ST

issue	amendment
A	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

date	legend
29.02.24	

architect

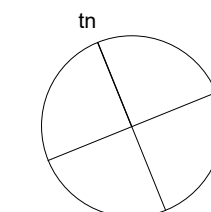
stanisic architects

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NSW ARB Frank Stanisl 4480

client

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north	to	project
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RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

drawing ROOF PLAN - BLD A+B

checked	FS	drawing
drawn	JN, SV	issue
project no	20 117	drawing no

A

DA 1010

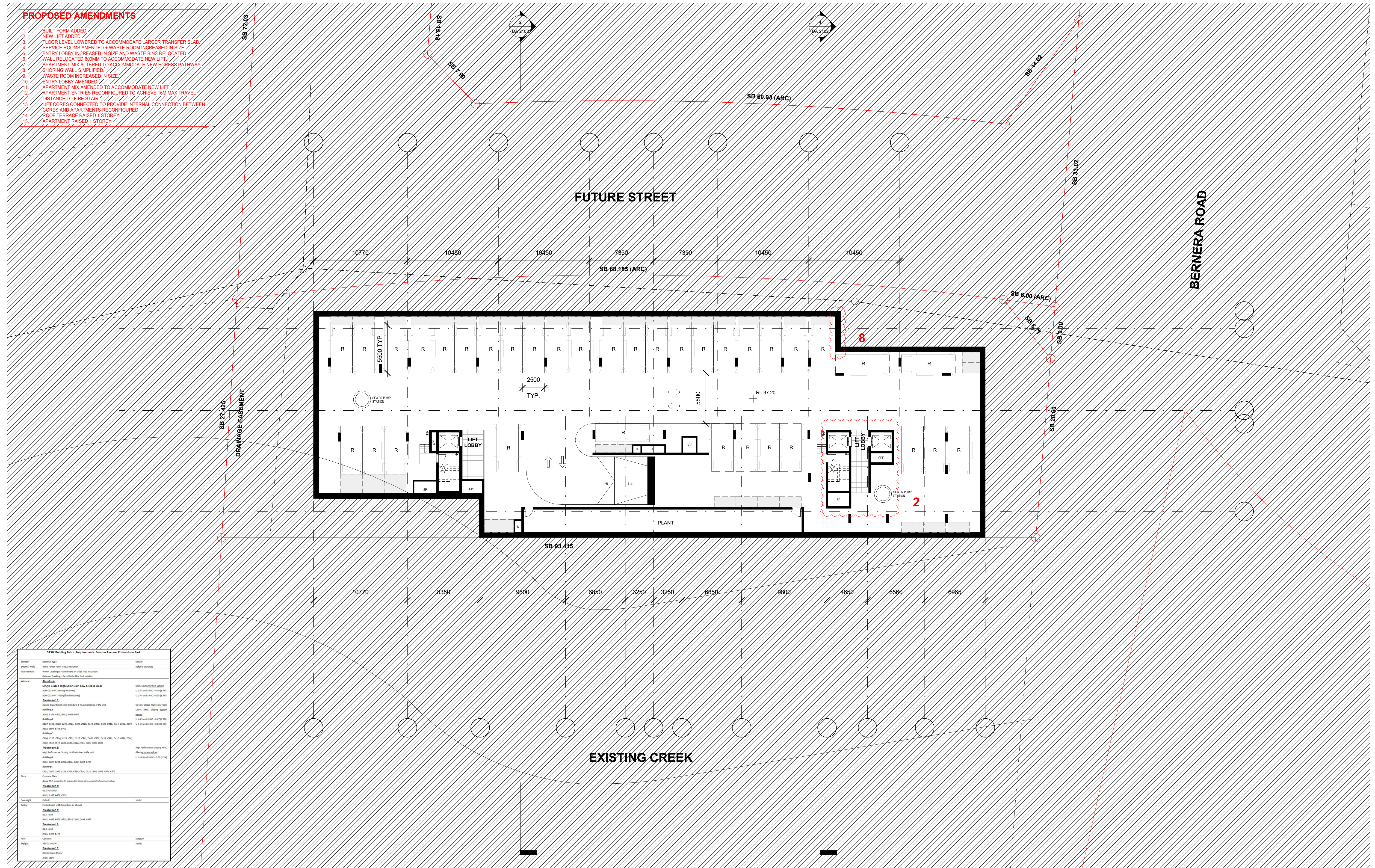
do not scale from drawings

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

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1:400@A

scale bar 0 2 4 6 8 10

- 2 BUILT FORM ADDED
- 3 NEW LIFT ADDED
- 4 FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
- 5 SERVICE ROOMS INCREASED + WASTE ROOM INCREASED IN SIZE
- 6 ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
- 7 WALLS AND CEILING ADDED TO ACCOMMODATE NEW LIFT
- 8 APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY
- 9 SHORING WALL SIMPLIFIED
- 10 WASTE ROOM INCREASED IN SIZE
- 11 APARTMENT MIX ADDED
- 12 APARTMENT MIX ADDED TO ACCOMMODATE NEW LIFT
- 13 APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIR
- 14 LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
- 15 ROOF TERRACE RAISED 1 STOREY
- 16 APARTMENT RAISED 1 STOREY



issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

date
03.11.21
29.02.24

legend

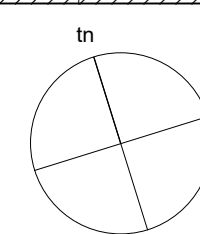
architect

stanisic architects

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NSW ARB Frank Stanisic 4480

client

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project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

drawing BASEMENT 4 PLAN - BLD C

checked	drawing
FS	

drawn

JN, SV

project no 20 117

drawing no

20 117

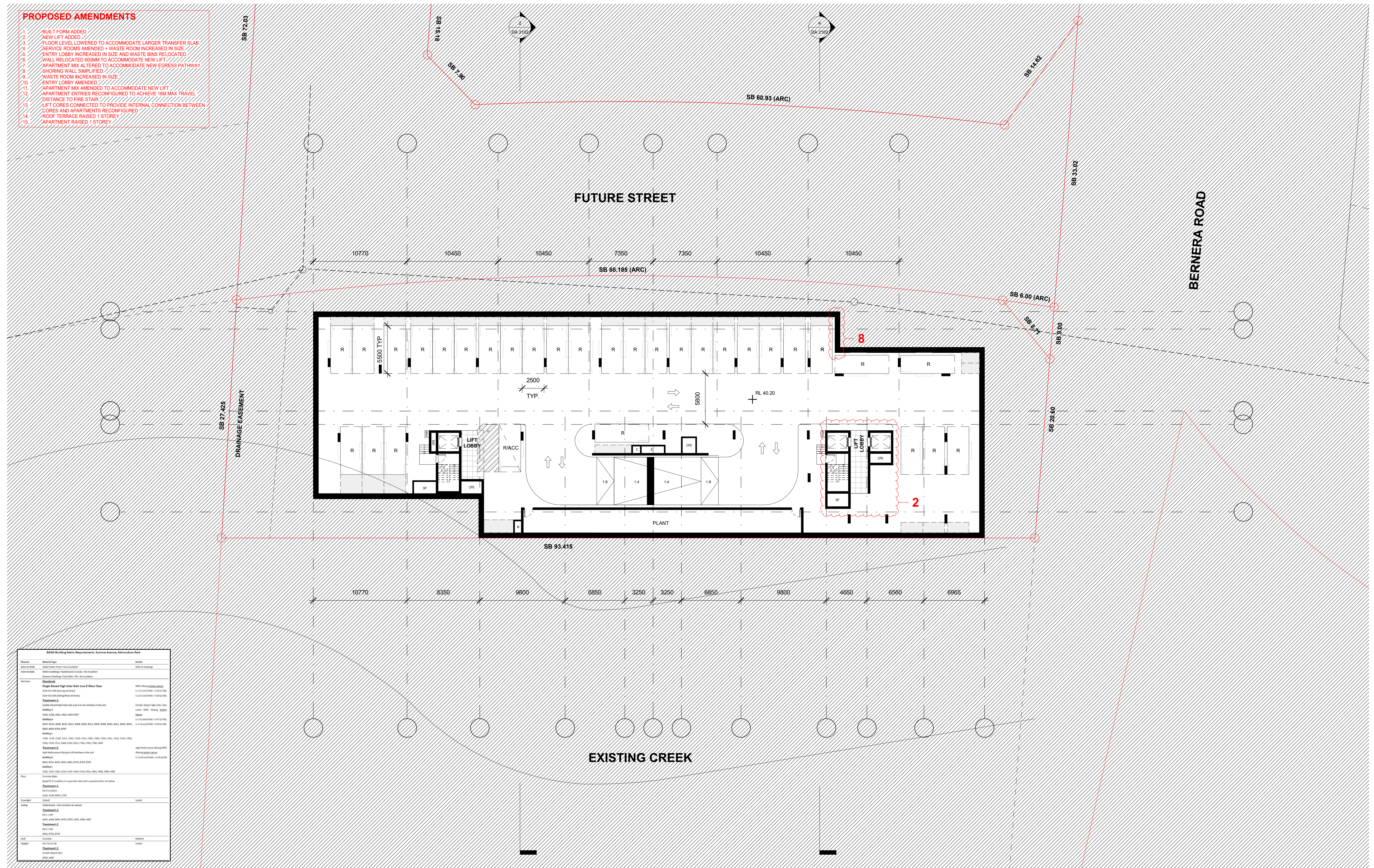
do not scale from drawings.

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DA 1102

2. BUILD FORM ADDED
3. NEW LIFT ADDED
4. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
5. SERVICE ROOMS INCREASED + WASTE ROOM INCREASED IN SIZE
6. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
7. WALLS IN LOST ENTRY RECONFIGURED TO ACCOMMODATE NEW ENTRY
8. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY
9. SHORING WALL SIMPLIFIED
10. WASTE ROOM INCREASED IN SIZE
11. ENTRY LOBBY ABANDONED
12. APARTMENT MIX ADDED TO ACCOMMODATE NEW LIFT
13. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
15. ROOF TERRACE RAISED + STAIRWAY
16. APARTMENT RAISED 1 STOREY



issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

issue	amendment	date
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24

03 11 21

29.02.24

legend

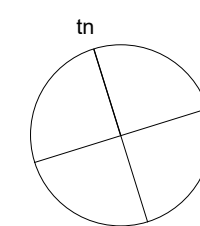
architect

stanisic architects

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client

CROATIA 88 PTY LTD



project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

drawing BASEMENT 3 PLAN - BLD C

checked	FS	drawing
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drawn JN, SV issue

project no 20 117

drawing no

20 117

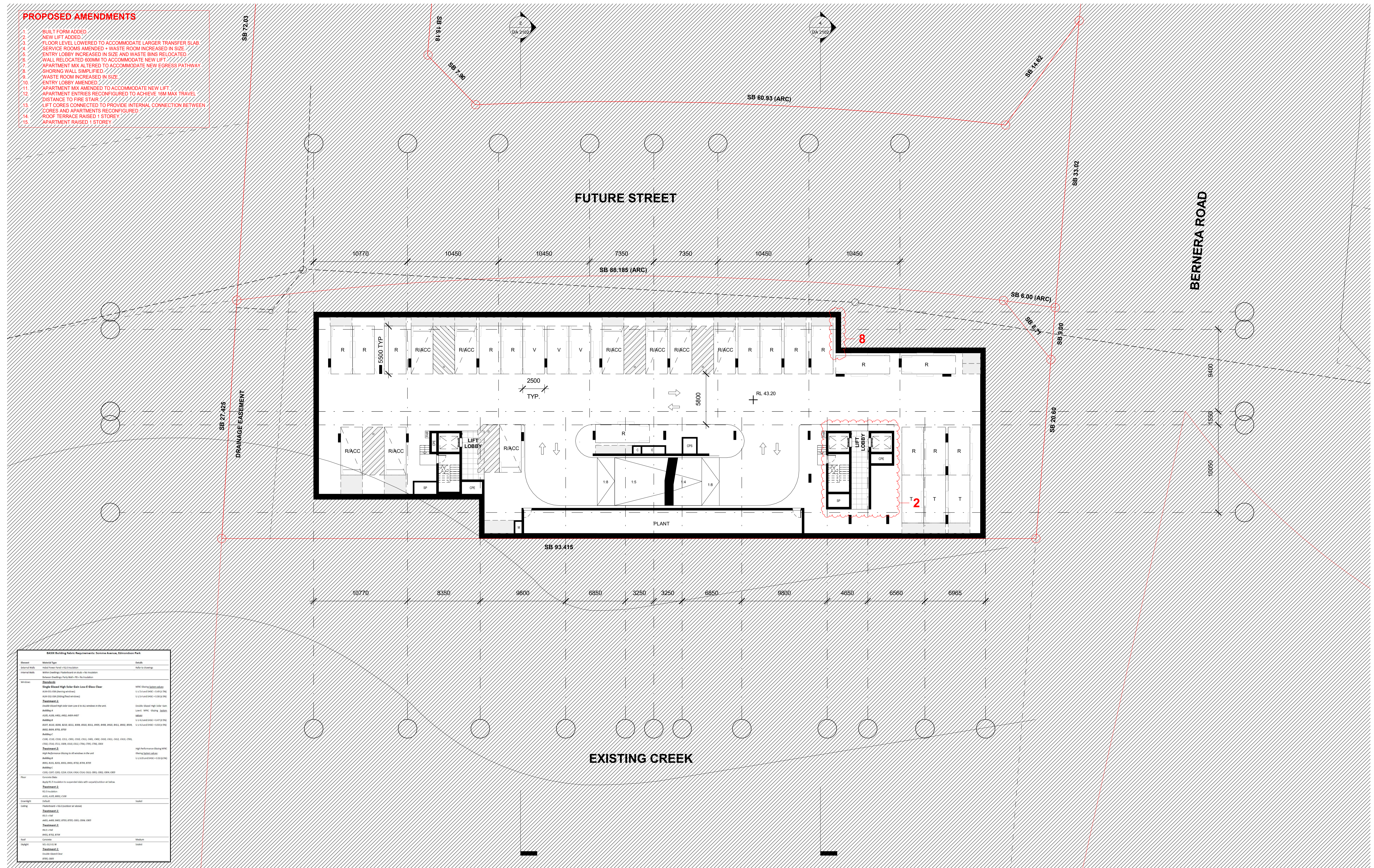
do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

1/03/2024 4:51:34 PM

DA 1103

- 2 BUILT FORM ADDED
- 3 NEW LIFT ADDED
- 4 FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
- 5 SERVICE ROOMS INCREASED + WASTE ROOM INCREASED IN SIZE
- 6 ENTRY LOBBY INCREASED IN SIZE AND WASTE BIN RELOCATED
- 7 WALLS ADDED TO ROOMS TO ACCOMMODATE NEW LIFT
- 8 APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY
- 9 SHORING WALL SIMPLIFIED
- 10 WASTE ROOM INCREASED IN SIZE
- 11 ENTRY LOBBY ADDED
- 12 APARTMENT MIX ADDED TO ACCOMMODATE NEW LIFT
- 13 APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE
- 14 LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
- 15 ROOF TERRACE RAISED + STOREY
- 16 APARTMENT RAISED 1 STOREY



issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

date
03.11.21
29.02.24

legend

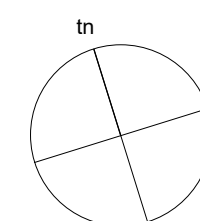
architect

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NSW ARB Frank Stanisic 4480

client

CROATIA 88 PTY LTD



project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

drawing BASEMENT 2 PLAN - BLD C

checked drawing

FS

FS

issue

JN SV


drawing no

3

DA 1104

scale	1:200@A1 1:400@A3
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scale bar



0 2 4 6 8 10 m

project no	20 117
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drawing no

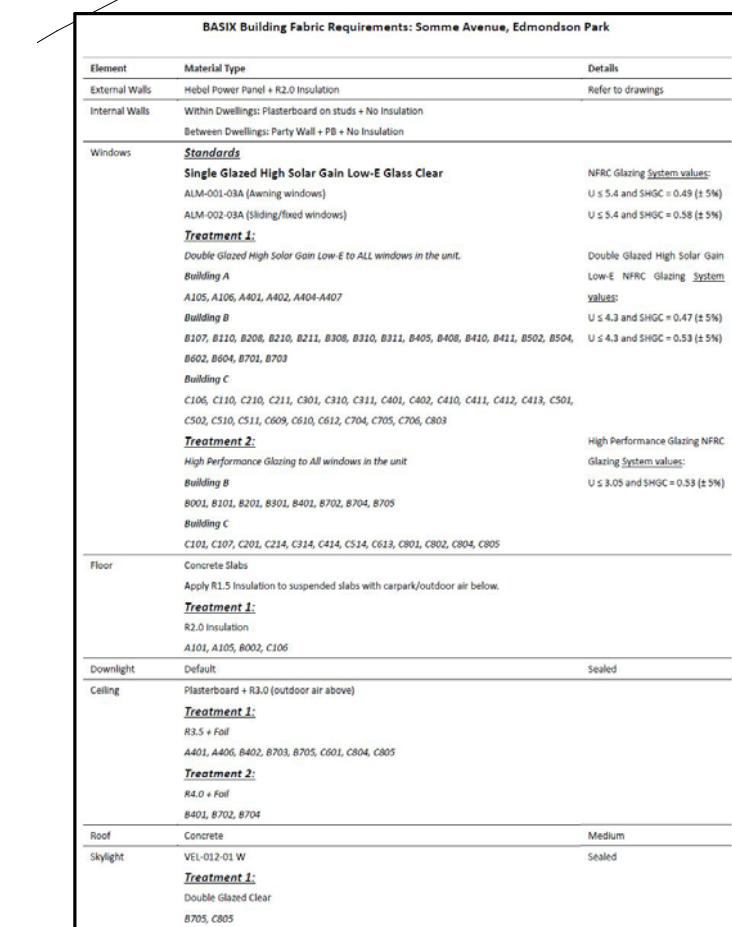
do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
6. WALLS AND CEILING RECONFIGURED TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ADDED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. ENTRY LOBBY ADDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIRS
13. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY.



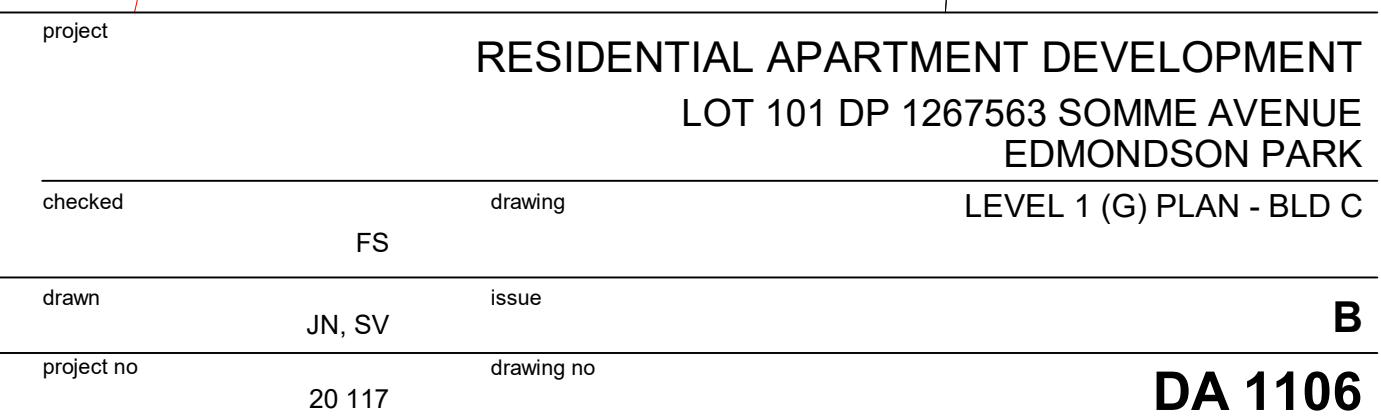
1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIR
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



date	legend
03.11.21	
16.01.24	
29.02.24	

client

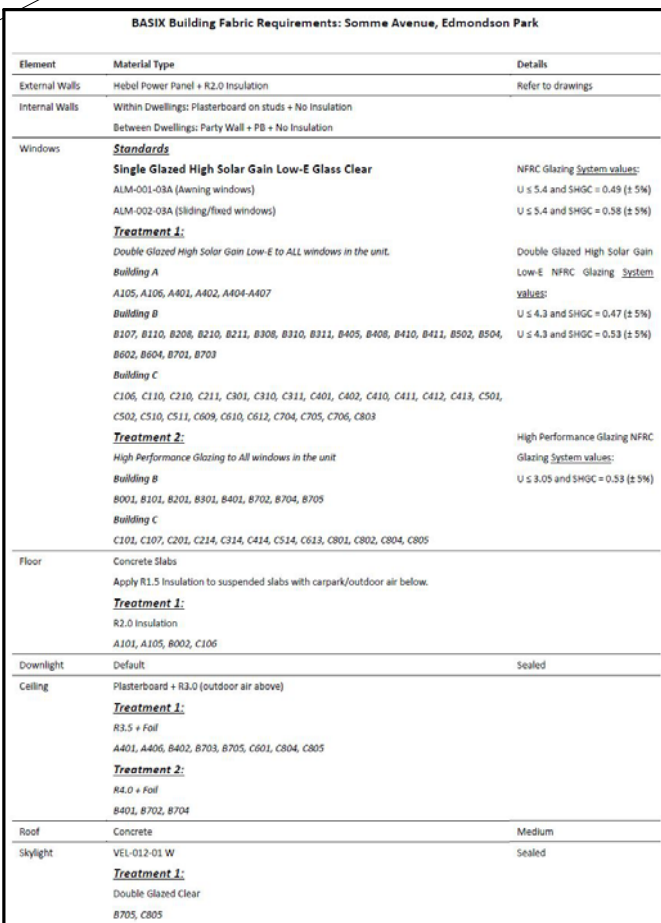
CROATIA 88 PTY LTD



do not scale from drawings. the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

scale bar 0 2 4 6 8 10 project no 20 117 drawing no DA 1106

1. BUILT FLOOR ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIR
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



date	legend
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stanisic architects

client

checked

checked	drawing
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FS

drawn

JN, SV

project no

20 117

C

DA 1107

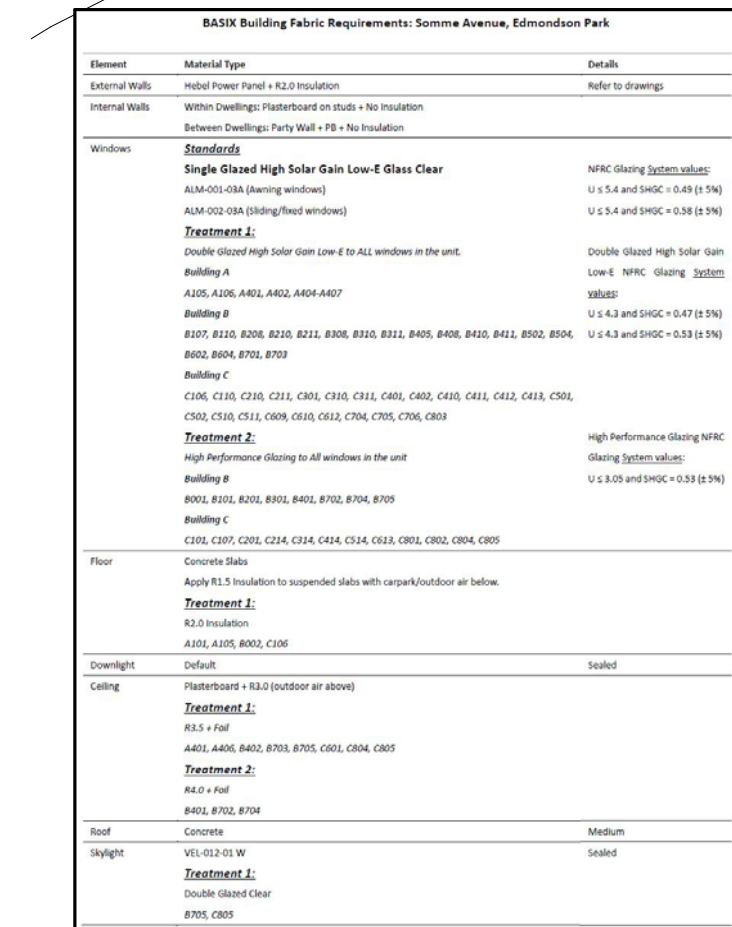
do not scale from drawings

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

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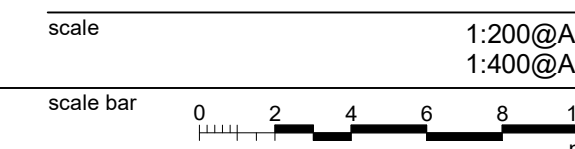
2. BUILT FORM ADDED
3. NEW LIFT ADDED
4. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
5. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
6. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
7. WALLS AND CEILING RECONFIGURED TO ACCOMMODATE NEW LIFT
8. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
9. SHORING WALL SIMPLIFIED.
10. WASTE ROOM INCREASED IN SIZE.
11. ENTRY LOBBY AMENDED
12. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
13. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 10M MAX TRAVEL DISTANCE TO FIRE STAIR.
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
15. ROOF TERRACE RAISED 1 STOREY
16. APARTMENT RAISED 1 STOREY.



03.11.21
26.05.22
16.01.24
18.01.24
29.02.24

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checked

drawing LEVEL 3 PLAN - BLD C

IN 2011

issue

20 117

8

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIRS
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



issue	amendment	date
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22
P1	ISSUE FINAL SKETCH DESIGN	16.01.24
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24

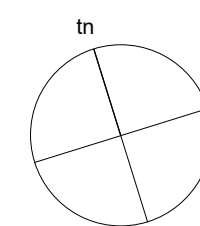
architect

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NSW ARB Frank Stanisic 4480

client

CROATIA 88 PTY LTD



project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked	drawing	LEVEL 4 PLAN - BLD C
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drawn issue 6

project no	20 117	drawing no	DA 1109
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do not scale from drawings

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

scale 1:200@A
1:400@A

scale bar 0 2 4 6 8 10

DA 1109

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
6. WALLS AND CEILING RECONFIGURED TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIRS
13. LIFT CORE CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY.

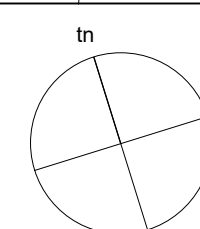
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issue	amendment	date
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24

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checked

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked	drawing
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FS

drawn

JN, SV

project no

20 117

FS

I, SV

0 117

3

DA 1110

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIRS
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



issue	amendment
A	ISSUE FOR DEVELOPMENT APPLICATION
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION

date	legend
03.11.21	
29.02.24	

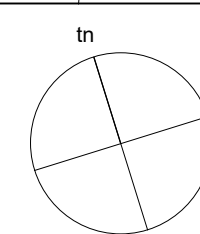
architect

stanisic architects

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client

CROATIA 88 PTY LTD



project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

drawing LEVEL 6 PLAN - BLD C

B

DA 1111

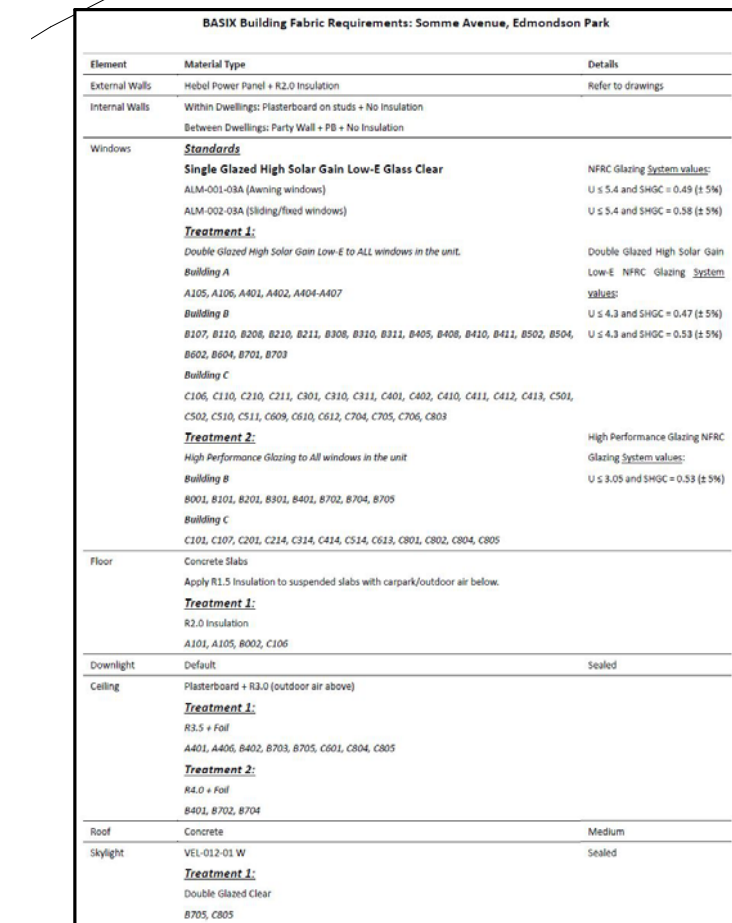
do not scale from drawings.

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scale 1:200@A
1:400@A

scale bar 0 2 4 6 8 10

1. BUILT FORM ADDED
2. NEW LIFT ADDED
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED
9. WASTE ROOM INCREASED IN SIZE
10. ENTRY LOBBY AMENDED
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO RISE STAIRS
13. LIFT CORES CONFIGURED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED
14. ROOF TERRACE RAISED 1 STOREY
15. APARTMENT RAISED 1 STOREY



date	legend
03.11.21	
16.01.24	
29.02.24	

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drawn issue

B

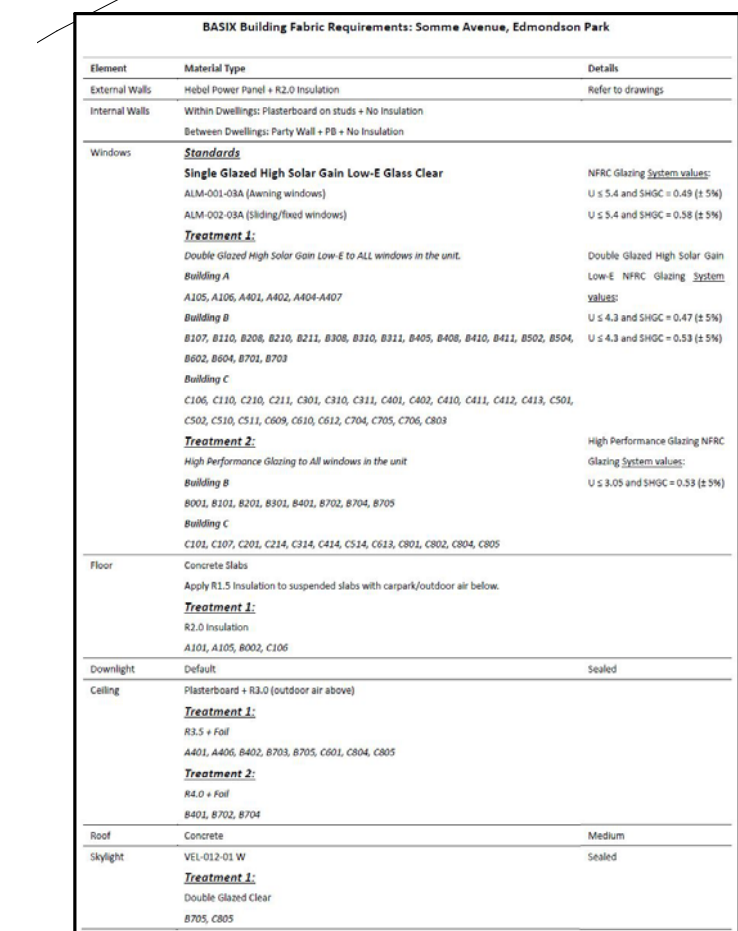
DA 1112

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

scale 1:200@A
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scale bar 0 2 4 6 8 10

1. BUILT FORM ADDED.
2. NEW LIFT ADDED.
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BIN RELOCATED.
6. WALL RELOCATED ROOM TO ACCOMMODATE NEW LIFT.
7. APARTMENT M1 ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. APARTMENT M2 AMENDED.
11. APARTMENT M3 AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL
13. STAIRS TO FIRE STAIR
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN
15. CORES AND APARTMENTS RECONFIGURED.
16. ROOF TERRACE RAISED 1 STOREY.
17. APARTMENT RAISED 1 STOREY.



issue	amendment	date
P1	ISSUE FINAL SKETCH DESIGN	16.01.24
A	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24

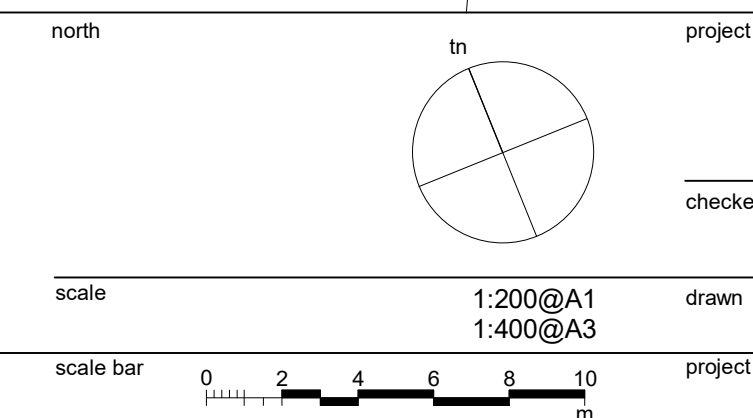
architect

stanisic architects

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NSW ARB Frank Stanisic 4480

client

CROATIA 88 PTY LTD



RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

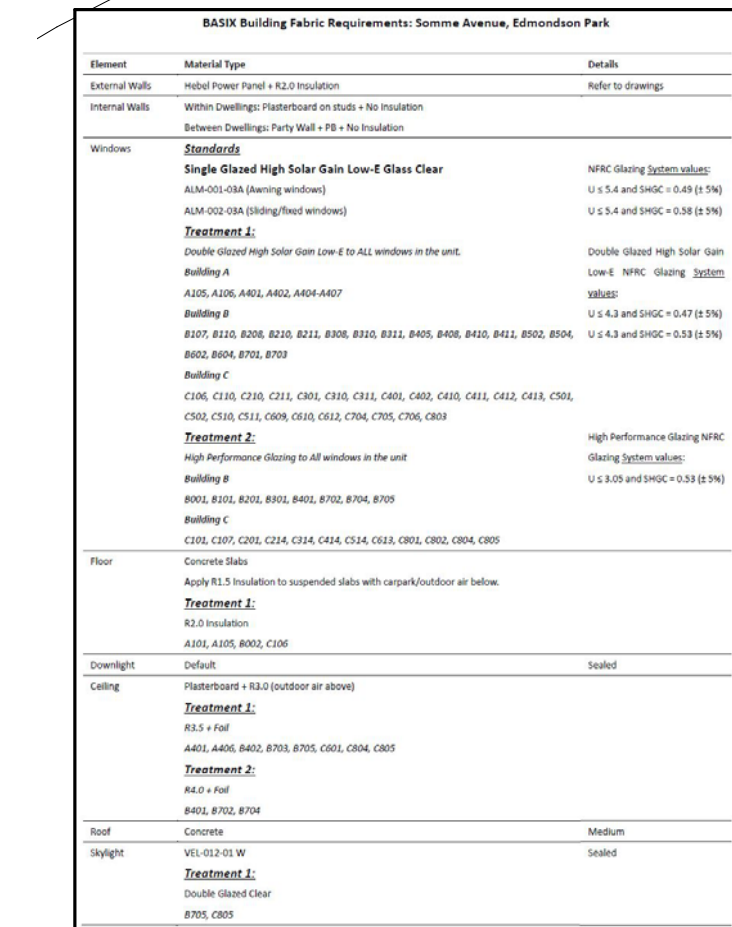
drawing LEVEL 8 PLAN - BLD C

checked	FS	drawing	LEVEL 8 PLAN - BLD C
drawn	JN, SV	issue	A
project no	20 117	drawing no	DA 1113

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

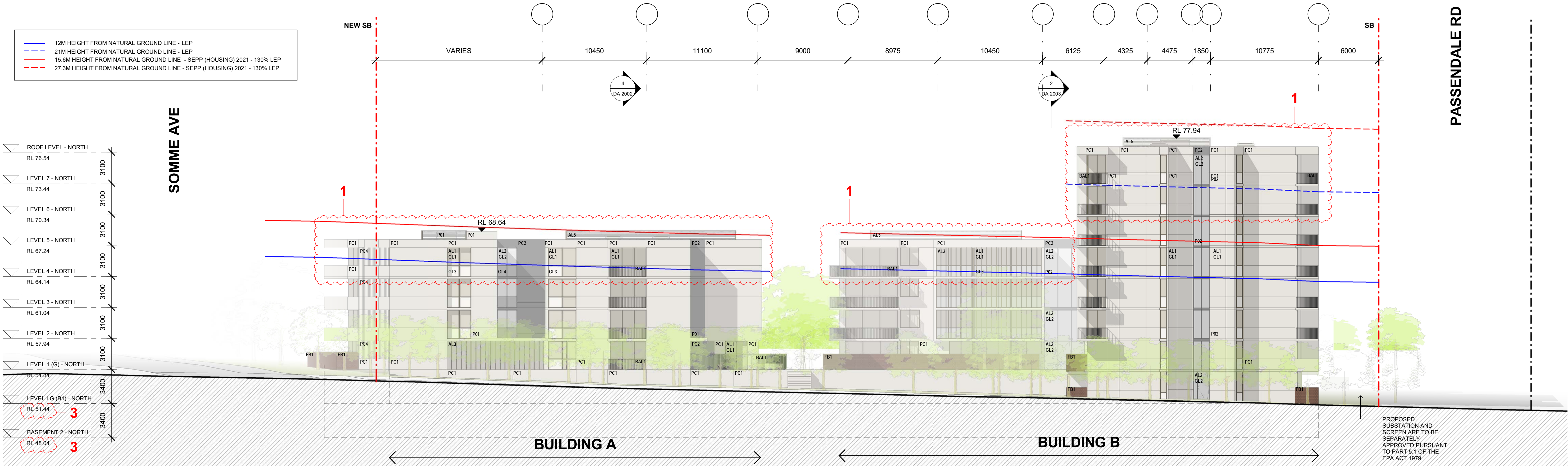
DA 1113



project	RESIDENTIAL APARTMENT DEVELOPMENT		
	LOT 101 DP 1267563 SOMME AVENUE		
	EDMONDSON PARK		
checked		drawing	ROOF PLAN - BLD C
	FS		
drawn	JN, SV	issue	A
project no	20 117	drawing no	DA 1114

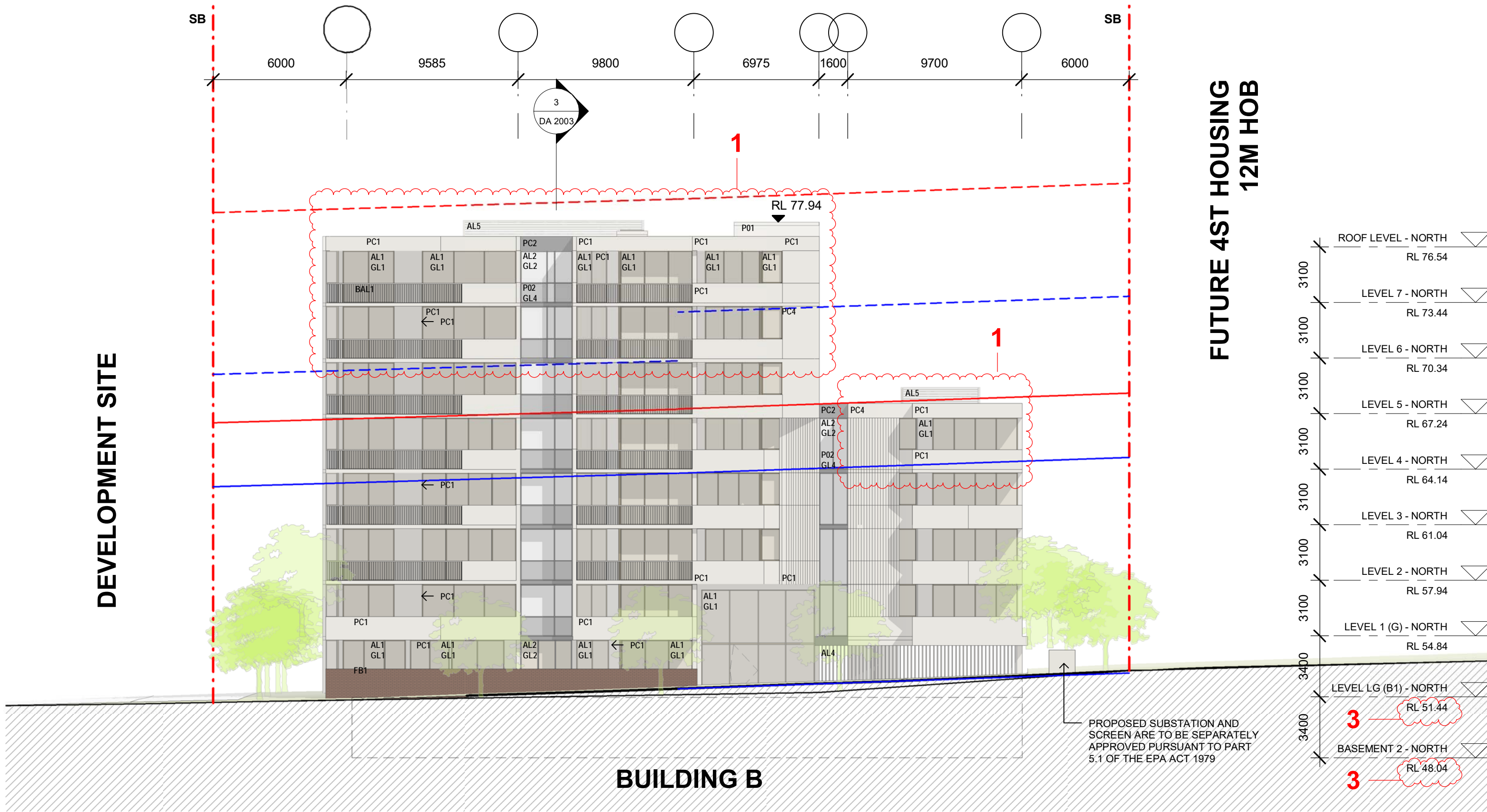


1 NORTH ELEVATION (BUILDING A + B)
1 : 200

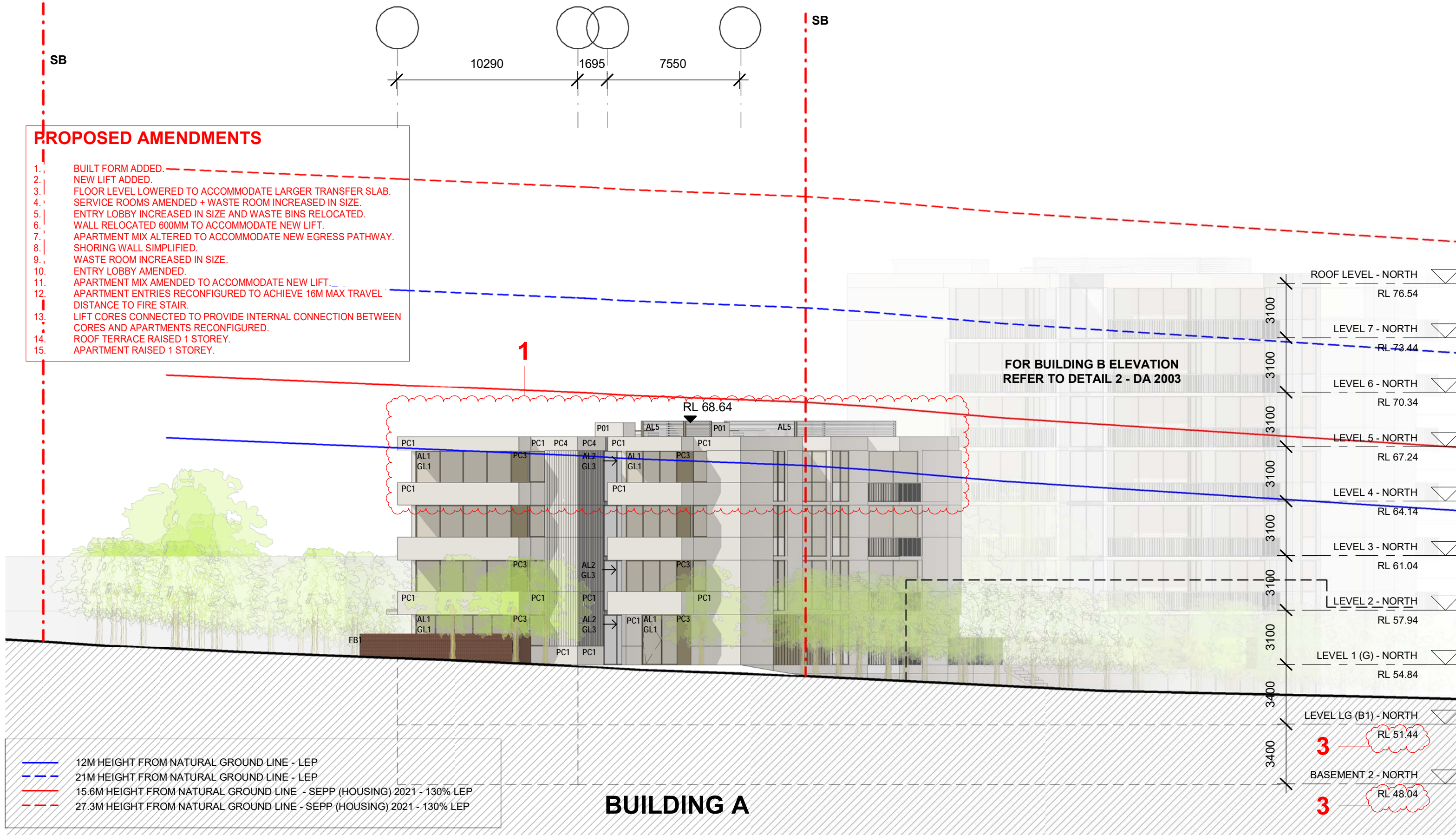


2 SOUTH ELEVATION (BUILDING A + B)
1 : 200

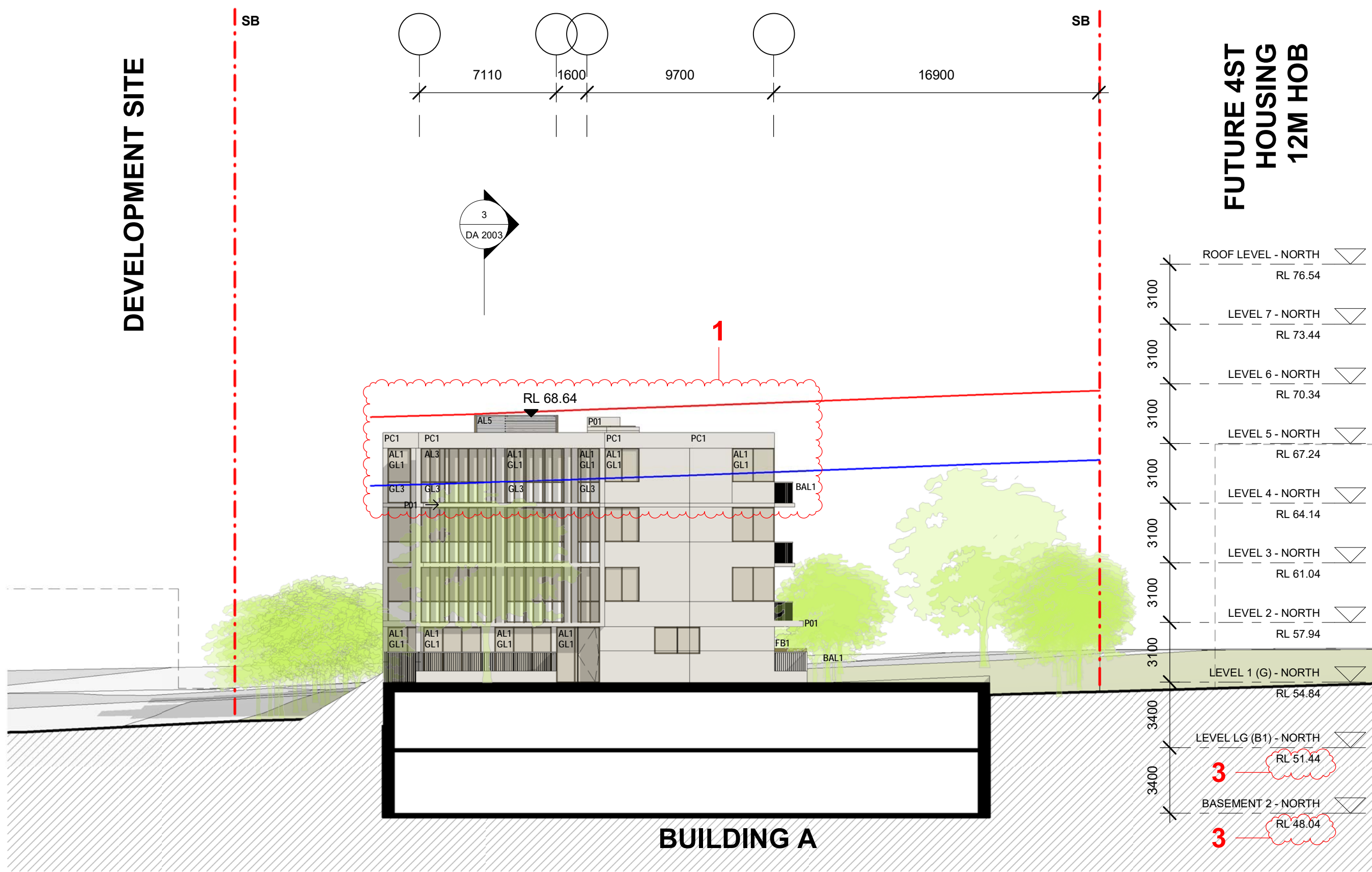
issue	amendment	date	legend	project
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	AL1 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, DARK BRONZE	RESIDENTIAL APARTMENT DEVELOPMENT
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	AL2 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, LIGHT BRONZE	LOT 101 DP 1267563 SOMME AVENUE
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	AL3 ALUMINIUM BLADES, DULUX, ELECTRO RANGE, MEDIUM BRONZE	EDMONDSON PARK
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	AL4 ALUMINIUM BATTENS, DULUX, ELECTRO RANGE, MEDIUM BRONZE	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	AL5 ALUMINIUM PLANT SCREEN, DULUX, ELECTRO RANGE, MEDIUM BRONZE	
			BAL1 ALUMINIUM PICKET BALUSTRADE, DULUX ELECTRO RANGE, MEDIUM BRONZE	
			FB1 FACEBRICK, DRY PRESSED, BOWRAL BLUE	
			GL1 CLEAR GLASS, VIRIDIAN, BRONZE	
			GL2 CLEAR GLASS, VIRIDIAN, TINTED, DARK GREY	
			GL3 TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, BRONZE	
			GL4 TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, GREY	
			P01 MASONRY, PAINT FINISH, COLOUR TO MATCH PC1	
			P02 MASONRY, PAINT FINISH, COLOUR TO MATCH PC2	
			PC1 MASONRY, PAINT FINISH, GREY PEBBLE OR SIMILAR	
			PC2 MASONRY, PAINT FINISH, MALAY GREY OR SIMILAR	
			PC3 MASONRY, PAINT FINISH, MUD PACK OR SIMILAR	
			PC4 MASONRY, GROOVES, PAINT FINISH, GREY PEBBLE OR SIMILAR	
the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.				DA 2001



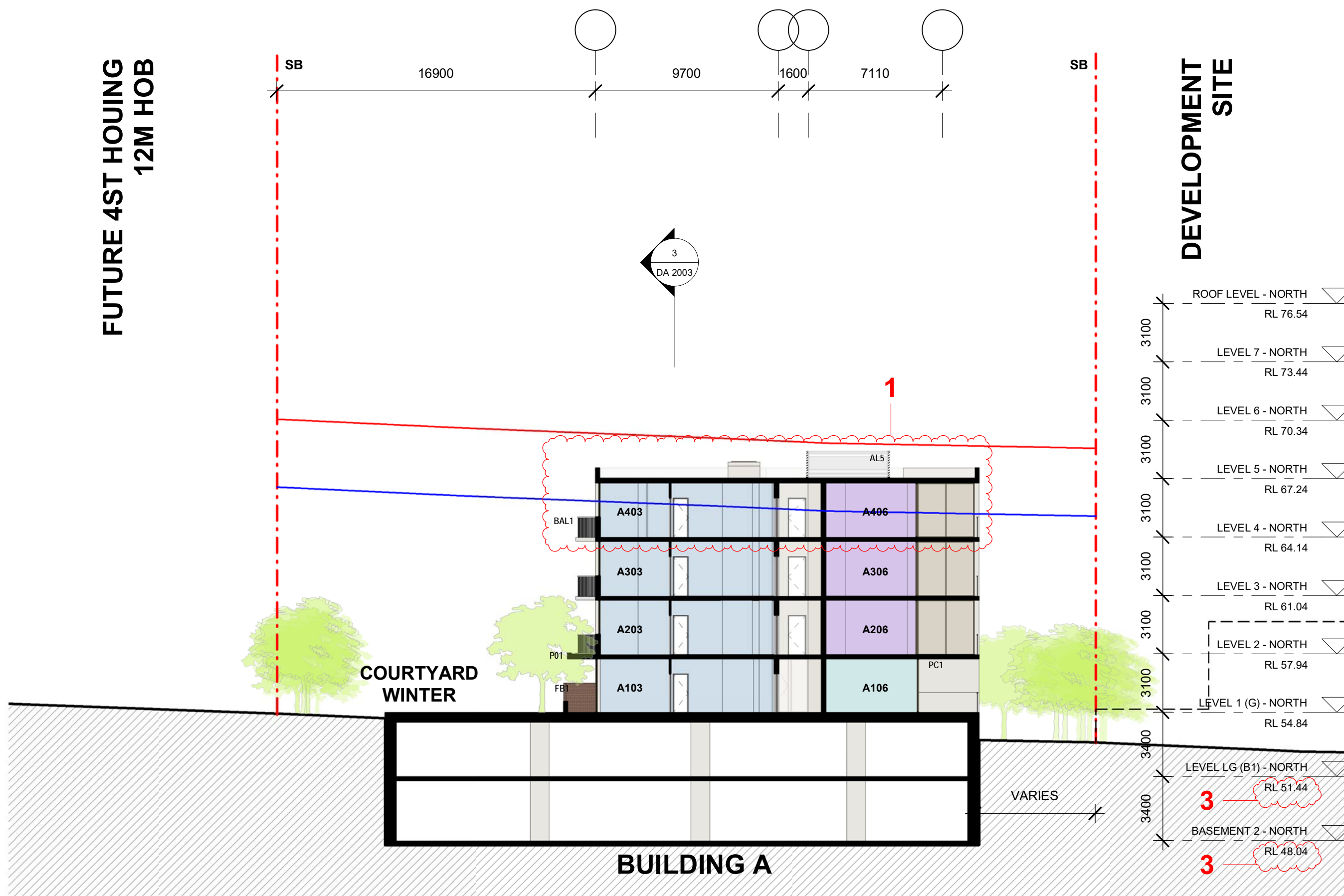
1 EAST ELEVATION - PASSENDALE RD (BUILDING B)
1 : 200



2 WEST ELEVATION - SOMME AVE (BUILDING A)
1 : 200



3 EAST ELEVATION (BLD A)
1 : 200

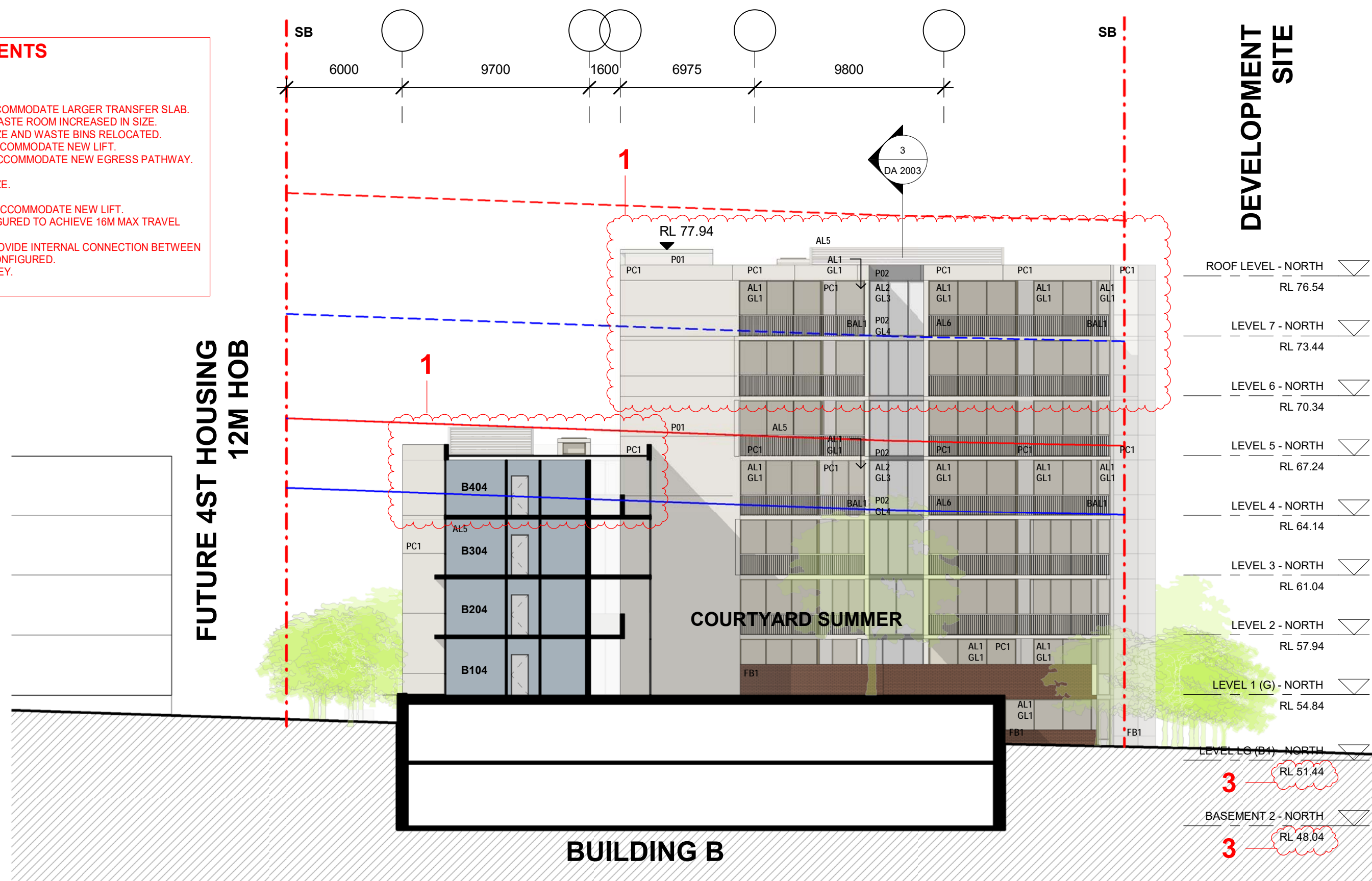


4 SECTION A (BLD A)
1 : 200

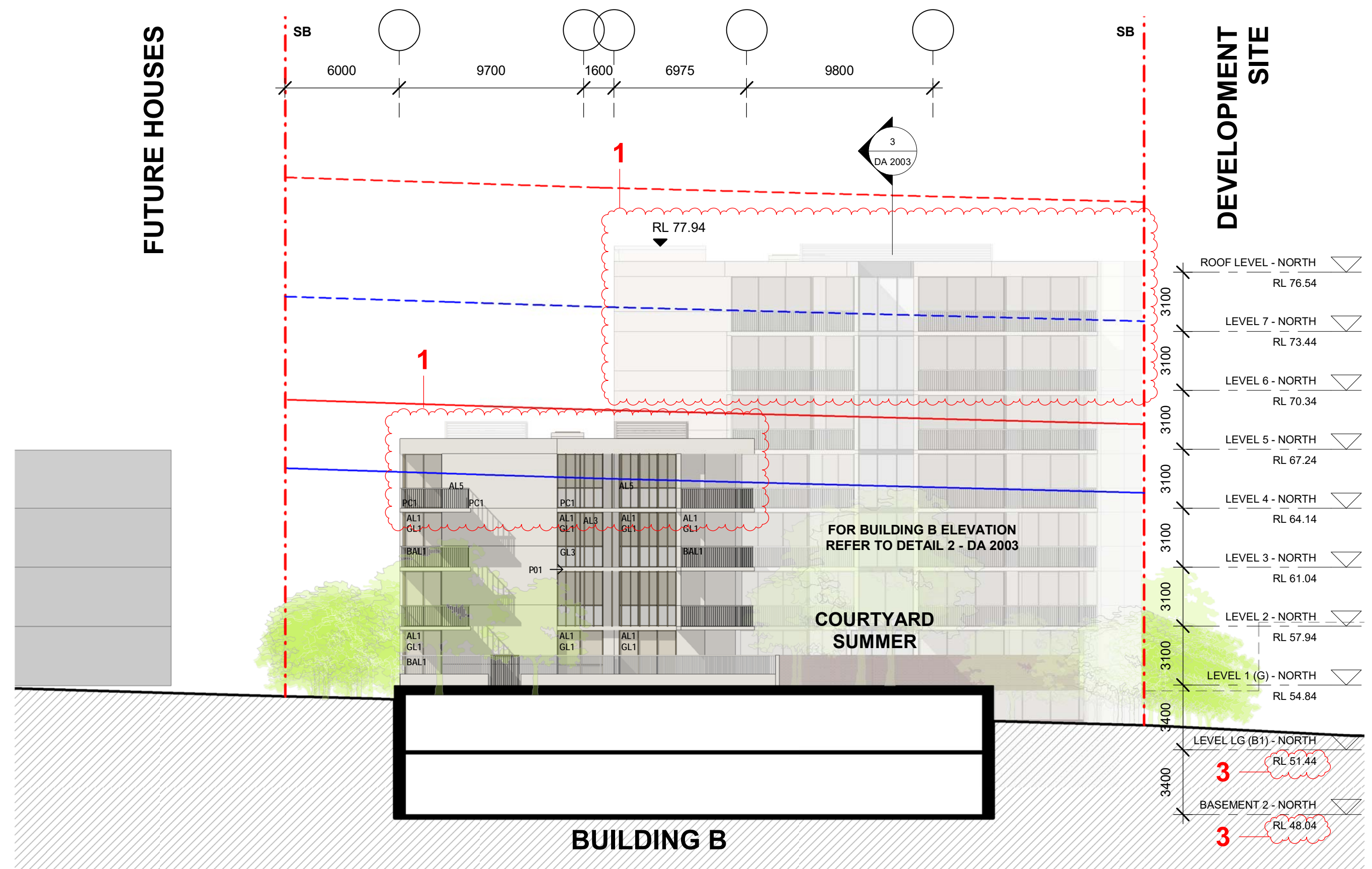
issue	amendment	date	legend	project
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	AL1 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, DARK BRONZE	RESIDENTIAL APARTMENT DEVELOPMENT
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	AL2 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, LIGHT BRONZE	LOT 101 DP 1267563 SOMME AVENUE
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	AL3 ALUMINIUM BLADES, DULUX, ELECTRO RANGE, MEDIUM BRONZE	EDMONDSON PARK
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	AL4 ALUMINIUM BATTENS, DULUX, ELECTRO RANGE, MEDIUM BRONZE	EAST + WEST ELEVATIONS + SECTIONS (BLD A+B)
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	AL5 ALUMINIUM PLANT SCREEN, DULUX, ELECTRO RANGE, MEDIUM BRONZE	FS
			BAL1 ALUMINIUM PICKET BALUSTRADE, DULUX ELECTRO RANGE, MEDIUM BRONZE	JN, SV
			FB1 FACEBRICK, DRY PRESSED, BOWRAL BLUE	issue
			GL1 CLEAR GLASS, VIRIDIAN, BRONZE	C
			GL2 CLEAR GLASS, VIRIDIAN, TINTED, DARK GREY	DA 2002
			GL3 TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, BRONZE	
			GL4 TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, GREY	
			P01 MASONRY, PAINT FINISH, COLOUR TO MATCH PC1	
			P02 MASONRY, PAINT FINISH, COLOUR TO MATCH PC2	
			PC1 MASONRY, PAINT FINISH, GREY PEBBLE OR SIMILAR	
			PC2 MASONRY, PAINT FINISH, MALAY GREY OR SIMILAR	
			PC3 MASONRY, PAINT FINISH, MUD PACK OR SIMILAR	
			PC4 MASONRY, GROOVES, PAINT FINISH, GREY PEBBLE OR SIMILAR	
			architect	
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			www.stanisic.com.au ABN 11002633481	
			NSW ARB Frank Stanisic 4480	
			client	
			CROATIA 88 PTY LTD	
			scale	1:200@A1 1:400@A3
			scale bar	0 2 4 6 8 10 m
			project no	20 117
			drawing no	
			do not scale from drawings.	
			the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.	

PROPOSED AMENDMENTS

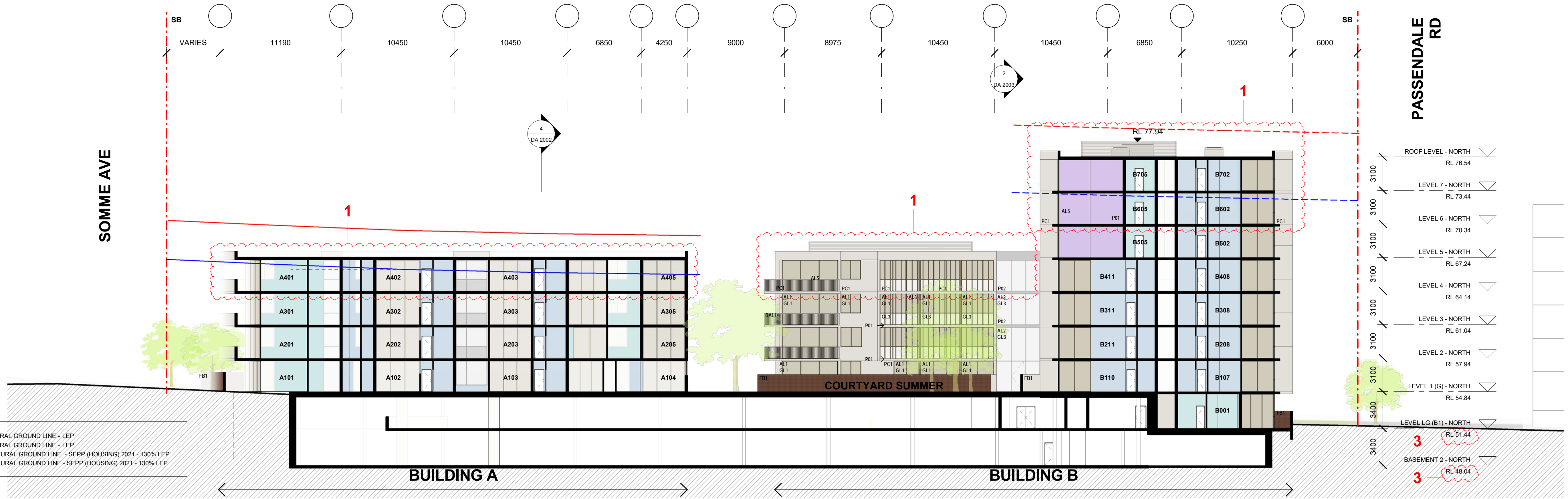
1. BUILT FORM ADDED.
2. NEW LIFT ADDED.
3. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB.
4. SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
5. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
6. WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
7. APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
8. SHORING WALL SIMPLIFIED.
9. WASTE ROOM INCREASED IN SIZE.
10. ENTRY LOBBY AMENDED.
11. APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
12. APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIR.
13. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
14. ROOF TERRACE RAISED 1 STOREY.
15. APARTMENT RAISED 1 STOREY.



2 SECTION B (BLD B)
1 : 200



1 WEST ELEVATION (BLD B)
1 : 200



3 SECTION C (BLD A+B)
1 : 200

issue	amendment	date	legend	project
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	AL1 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, DARK BRONZE	RESIDENTIAL APARTMENT DEVELOPMENT
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	AL2 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, LIGHT BRONZE	LOT 101 DP 1267563 SOMME AVENUE
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	AL3 ALUMINIUM BLADES, DULUX, ELECTRO RANGE, MEDIUM BRONZE	EDMONDSON PARK
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	AL4 ALUMINIUM BATTENS, DULUX, ELECTRO RANGE, MEDIUM BRONZE	INTERNAL ELEVATIONS + SECTIONS (BLD A+B)
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	AL5 ALUMINIUM PLANT SCREEN, DULUX, ELECTRO RANGE, MEDIUM BRONZE	checked FS drawing
			BAL1 ALUMINIUM PICKET BALUSTRADE, DULUX ELECTRO RANGE, MEDIUM BRONZE	drawn JN, SV issue
			FB1 FACEBRICK, DRY PRESSED, BOWRAL BLUE	project no 20 117 drawing no
			GL1 CLEAR GLASS, VIRIDIAN, BRONZE	
			GL2 CLEAR GLASS, VIRIDIAN, TINTED, DARK GREY	
			GL3 TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, BRONZE	
			GL4 TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, GREY	
			P01 MASONRY, PAINT FINISH, COLOUR TO MATCH PC1	
			P02 MASONRY, PAINT FINISH, COLOUR TO MATCH PC2	
			PC1 MASONRY, PAINT FINISH, GREY PEBBLE OR SIMILAR	
			PC2 MASONRY, PAINT FINISH, MALAY GREY OR SIMILAR	
			PC3 MASONRY, PAINT FINISH, MUD PACK OR SIMILAR	
			PC4 MASONRY, GROOVES, PAINT FINISH, GREY PEBBLE OR SIMILAR	

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client

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scale

1:200@A1
1:400@A3

scale bar

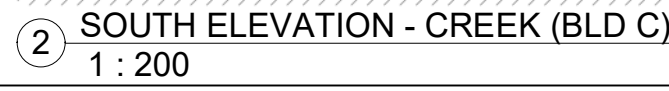
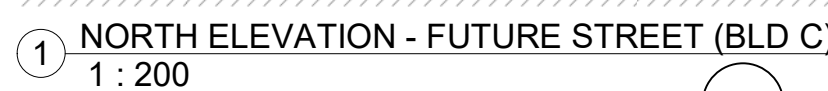
0 2 4 6 8 10 m

do not scale from drawings.

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DA 2003

2. BUILT FORM ADDED.
3. NEW LIFT ADDED.
4. FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB
5. SERVICE ROOMS AMENDED - WASTE ROOM INCREASED IN SIZE.
6. ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
7. WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
8. APARTMENT K1 ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
9. SHORING WALL SIMPLIFIED.
10. WASTE ROOM INCREASED IN SIZE.
11. ENTRY LOBBY AMENDED.
12. APARTMENT M1 AMENDED TO ACCOMMODATE NEW LIFT.
13. APARTMENT INTERIORS RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIRS.
14. LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
15. ROOF TERRACE RAISED 1 STOREY.
16. APARTMENT RAISED 1 STOREY.



architect

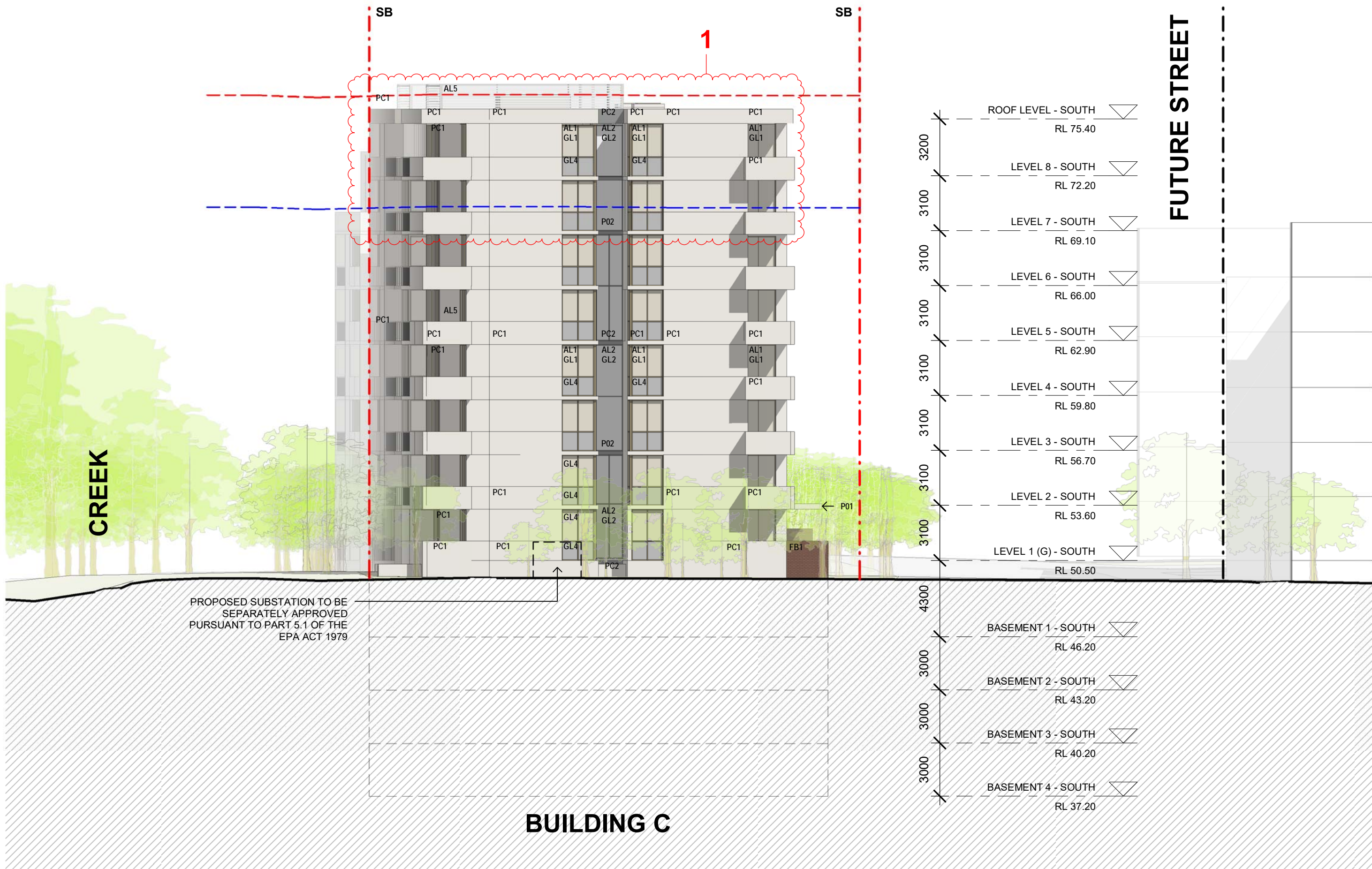
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client

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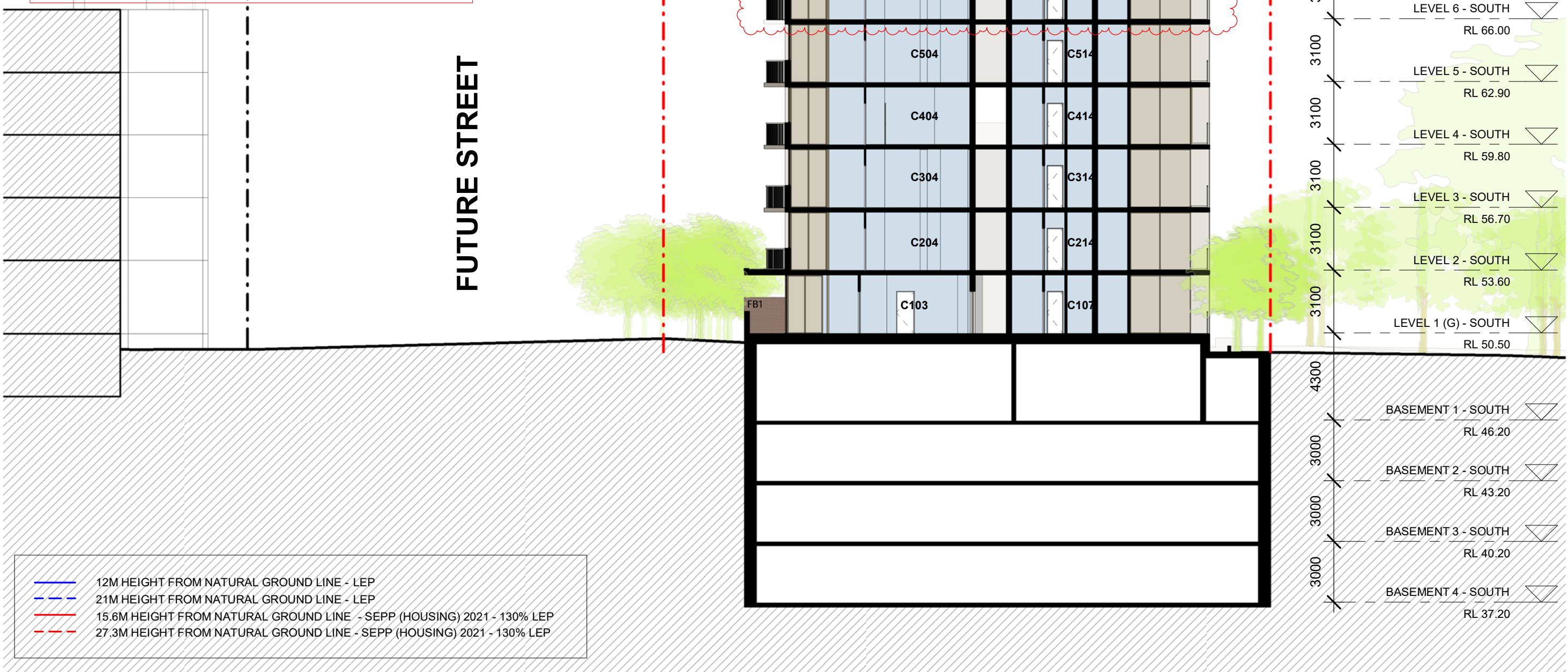
DA 2101



1 EAST ELEVATION - BERNERA RD (BLD C)
1 : 200

PROPOSED AMENDMENTS

- BUILT FORM ADDED.
- NEW LIFT ADDED.
- FLOOR LEVEL LOWERED TO ACCOMMODATE LARGER TRANSFER SLAB.
- SERVICE ROOMS AMENDED + WASTE ROOM INCREASED IN SIZE.
- ENTRY LOBBY INCREASED IN SIZE AND WASTE BINS RELOCATED.
- WALL RELOCATED 600MM TO ACCOMMODATE NEW LIFT.
- APARTMENT MIX ALTERED TO ACCOMMODATE NEW EGRESS PATHWAY.
- SHORING WALL SIMPLIFIED.
- WASTE ROOM INCREASED IN SIZE.
- ENTRY LOBBY AMENDED.
- APARTMENT MIX AMENDED TO ACCOMMODATE NEW LIFT.
- APARTMENT ENTRIES RECONFIGURED TO ACHIEVE 16M MAX TRAVEL DISTANCE TO FIRE STAIR.
- LIFT CORES CONNECTED TO PROVIDE INTERNAL CONNECTION BETWEEN CORES AND APARTMENTS RECONFIGURED.
- ROOF TERRACE RAISED 1 STOREY.
- APARTMENT RAISED 1 STOREY.



2 SECTION A (BLD C)
1 : 200

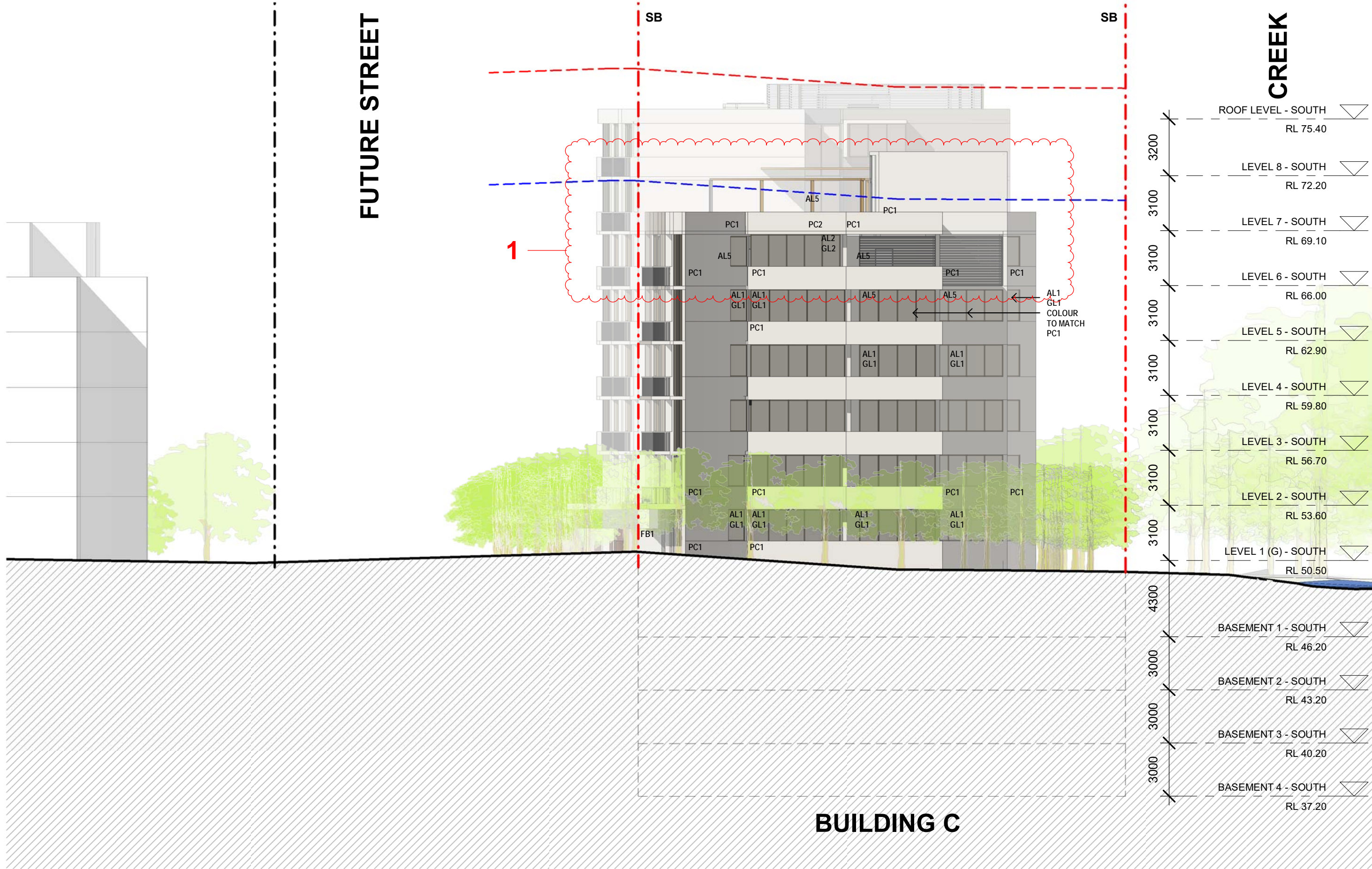
issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	AL1 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, DARK BRONZE
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	AL2 ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, LIGHT BRONZE
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	AL3 ALUMINIUM BLADES, DULUX, ELECTRO RANGE, MEDIUM BRONZE
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	AL4 ALUMINIUM BATTENS, DULUX, ELECTRO RANGE, MEDIUM BRONZE

PC1	MASONRY, PAINT FINISH, COLOUR TO MATCH PC1
P01	MASONRY, PAINT FINISH, COLOUR TO MATCH PC2
P02	MASONRY, PAINT FINISH, GREY PEBBLE OR SIMILAR
PC2	MASONRY, PAINT FINISH, MALAY GREY OR SIMILAR
PC3	MASONRY, PAINT FINISH, MUD PACK OR SIMILAR
PC4	MASONRY, GROOVES, PAINT FINISH, GREY PEBBLE OR SIMILAR

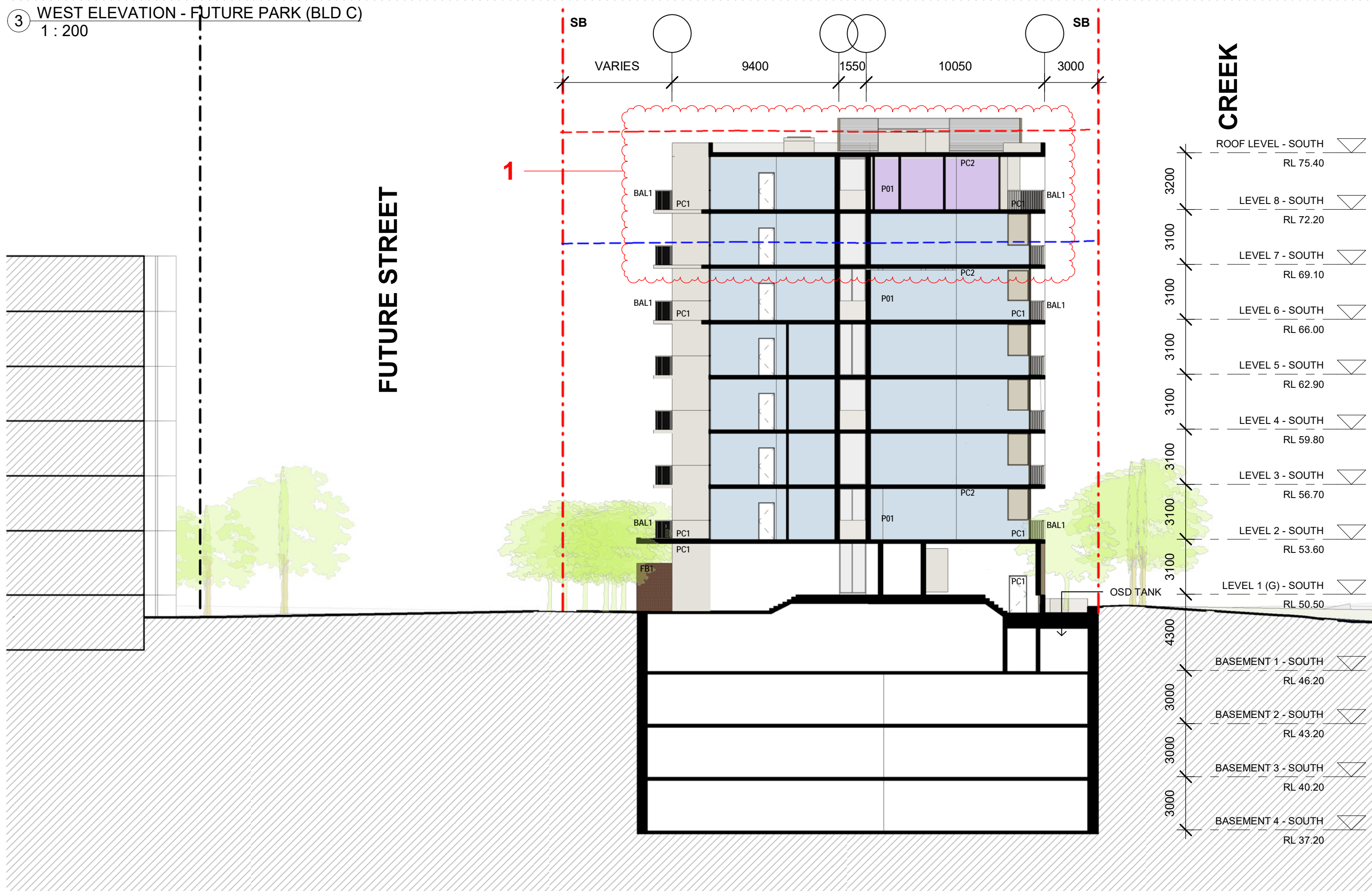
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3 WEST ELEVATION - FUTURE PARK (BLD C)
1 : 200



4 SECTION B (BLD C)
1 : 200

BUILDING C

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

EAST + WEST ELEVATION + SECTIONS (BLD C)

scale 1:200@A1
1:400@A3

scale bar 0 2 4 6 8 10 m

checked FS

drawn JN, SV

project no 20 117

drawing no

drawing no

B

DA 2102



issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

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project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
checked JN drawing
scale NTS drawn SV issue
project no 20 117 drawing no
DA 4001



issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
P1	ISSUE PRELIMINARY SKETCH DESIGN	11.01.24	
P2	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

1/03/2024 5:01:05 PM

do not scale from drawings.

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CROATIA 88 PTY LTD

project

RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
AERIAL VIEW - SOUTH

checked

drawing

JN

drawn

issue

SV

project no

drawing no

20 117

scale

NTS

scale bar

C

DA 4002



^ WINTER SOLSTICE
0900

^ WINTER SOLSTICE
1000



^ WINTER SOLSTICE
1100

^ WINTER SOLSTICE
1200

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
P1	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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client
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project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked JN drawing
SUN EYE VIEWS - WINTER SOLSTICE
(09.00-12.00)

drawn SV issue
B

project no 20 117 drawing no

DA 5001

do not scale from drawings. the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

1/03/2024 5:04:45 PM



^ WINTER SOLSTICE
1300

^ WINTER SOLSTICE
1400



^ WINTER SOLSTICE
1500

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
P1	ISSUE FOR FINAL SKETCH DESIGN	18.01.24	
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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client
CROATIA 88 PTY LTD

project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked JN drawing
SUN EYE VIEWS - WINTER SOLSTICE
(13.00-15.00)

drawn SV issue
B

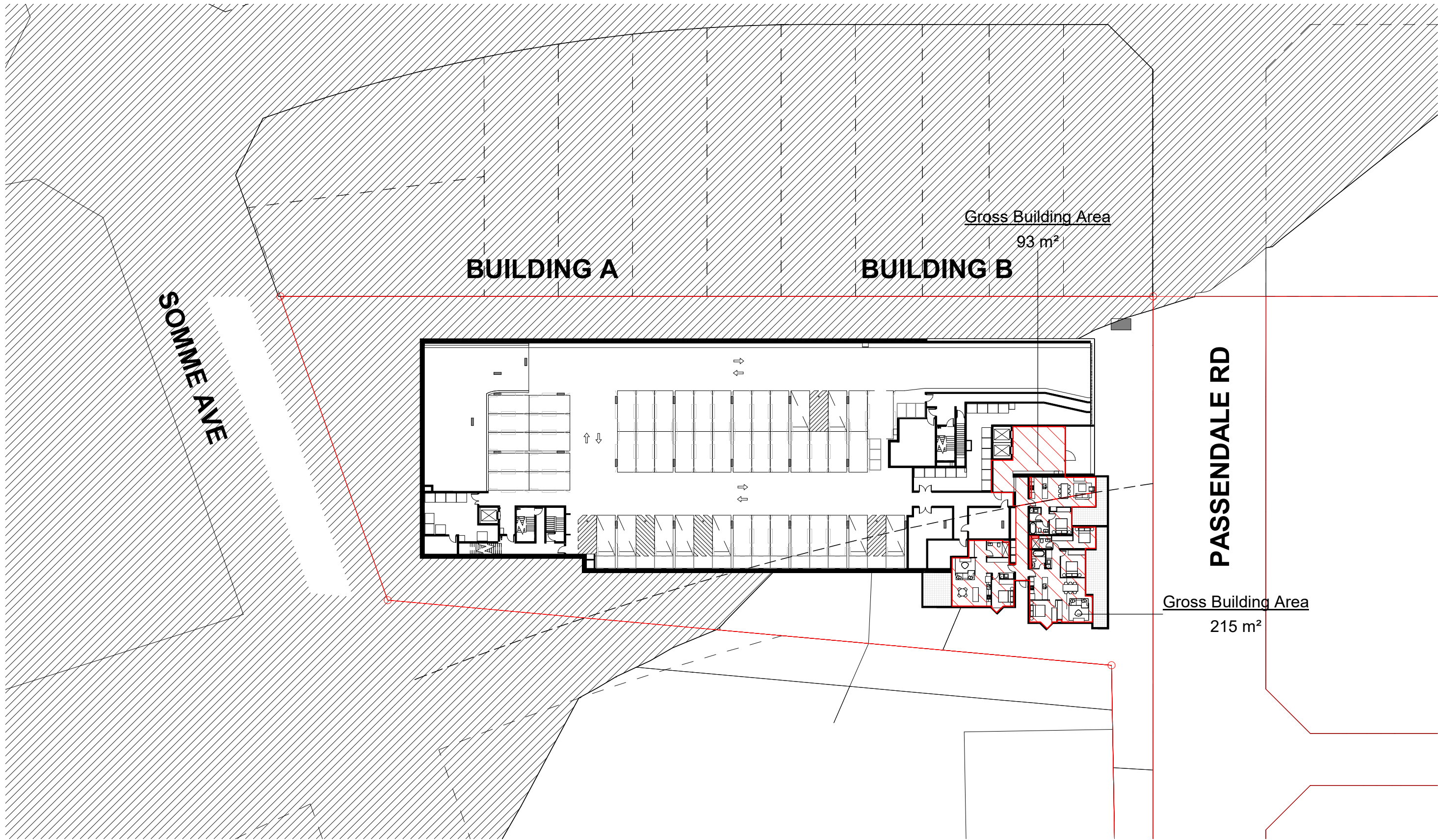
scale NTS

scale bar project no 20 117 drawing no

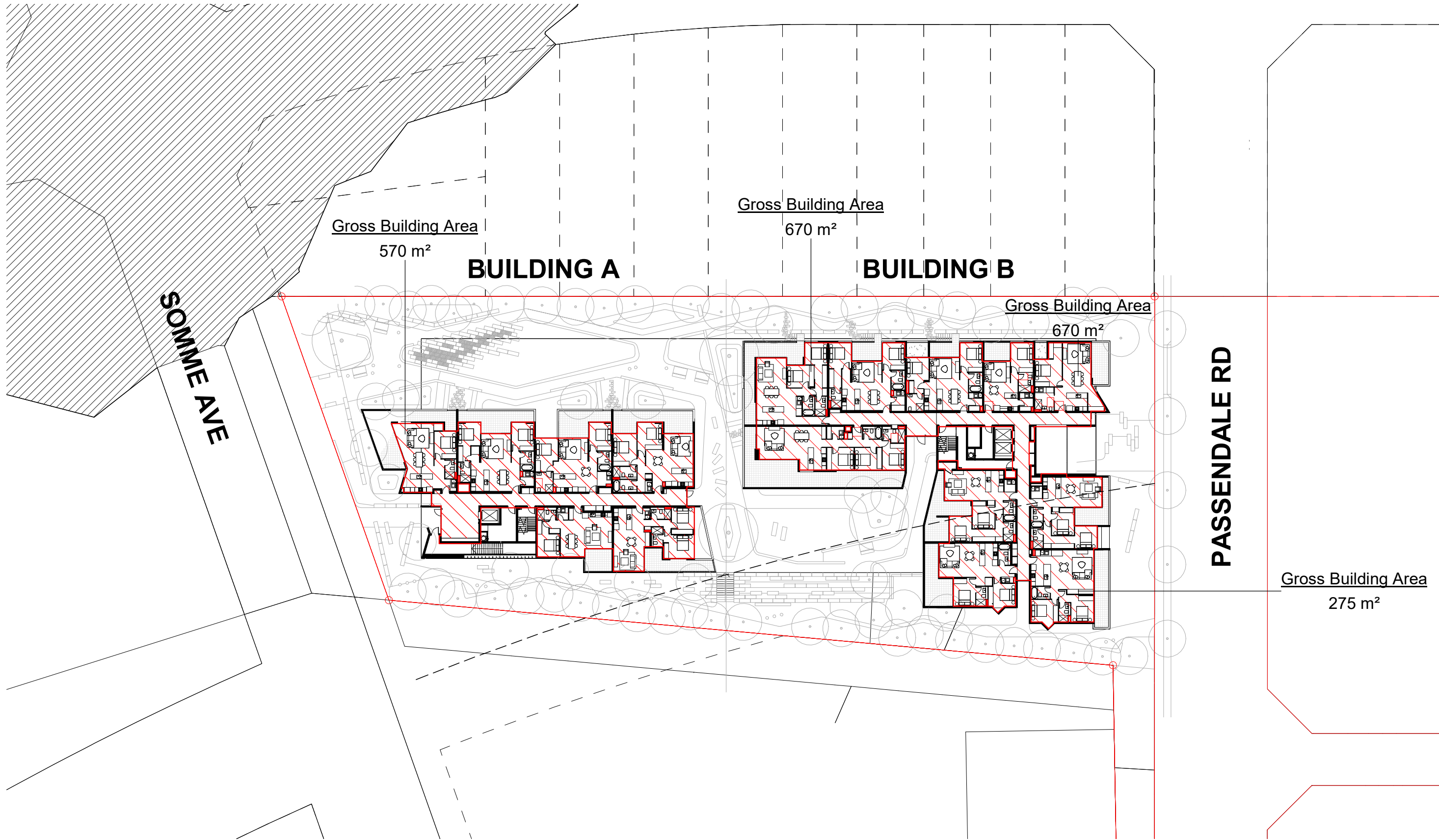
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do not scale from drawings. the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

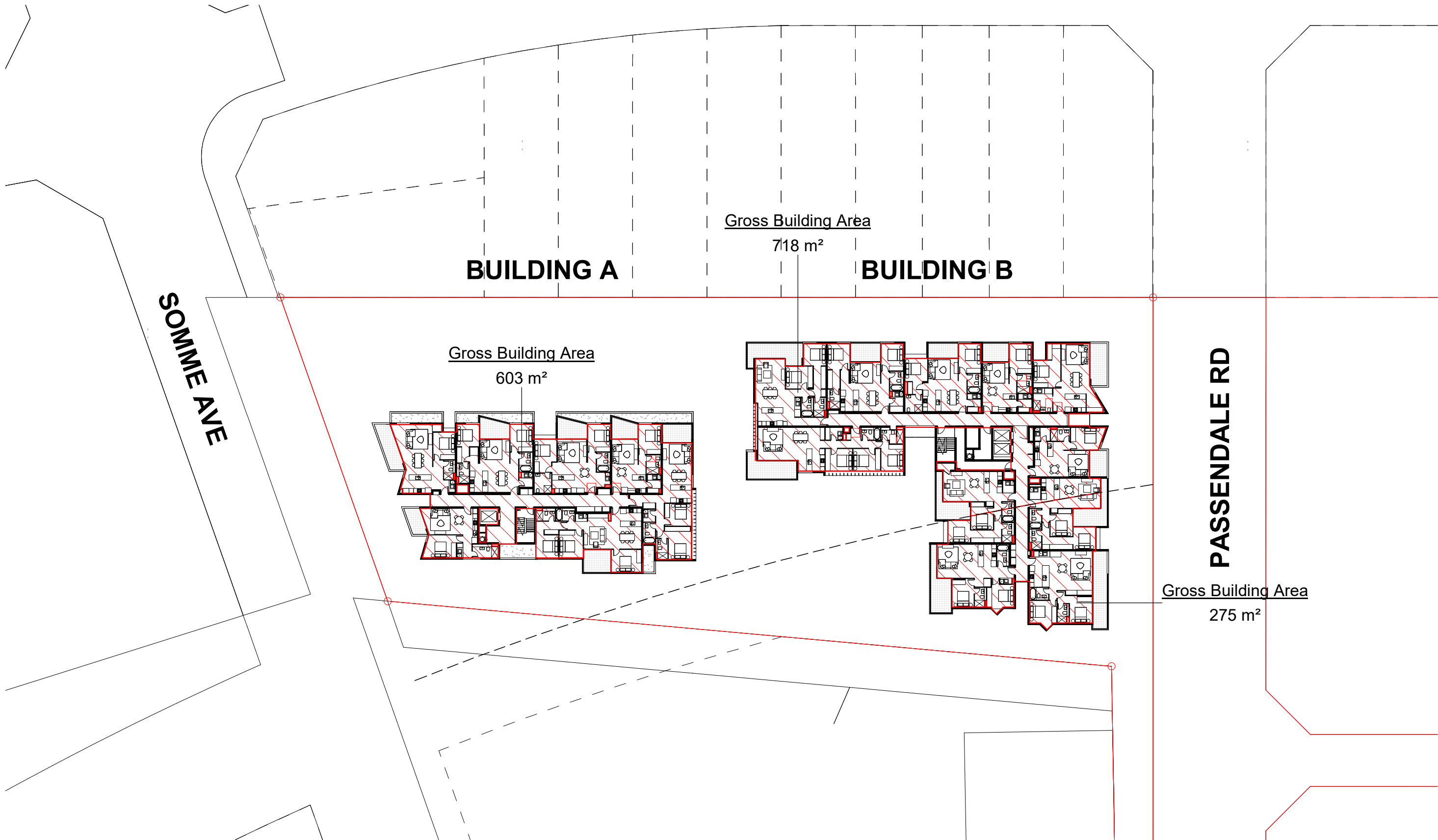
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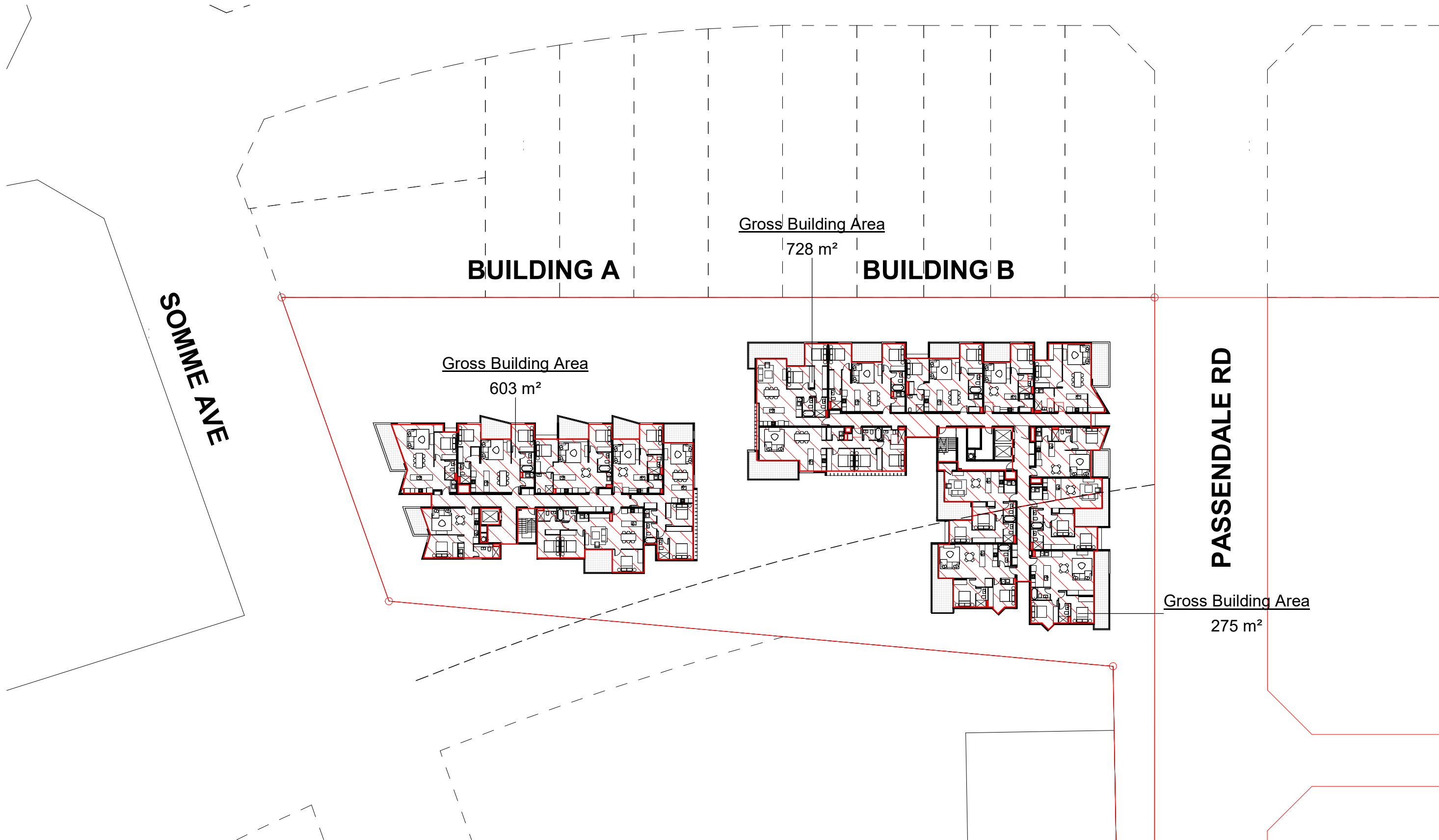
① LEVEL LG (B1) - NORTH
1 : 500



② LEVEL 1 (G) - NORTH
1 : 500



③ LEVEL 2 - NORTH
1 : 500



④ LEVEL 3 - NORTH
1 : 500

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

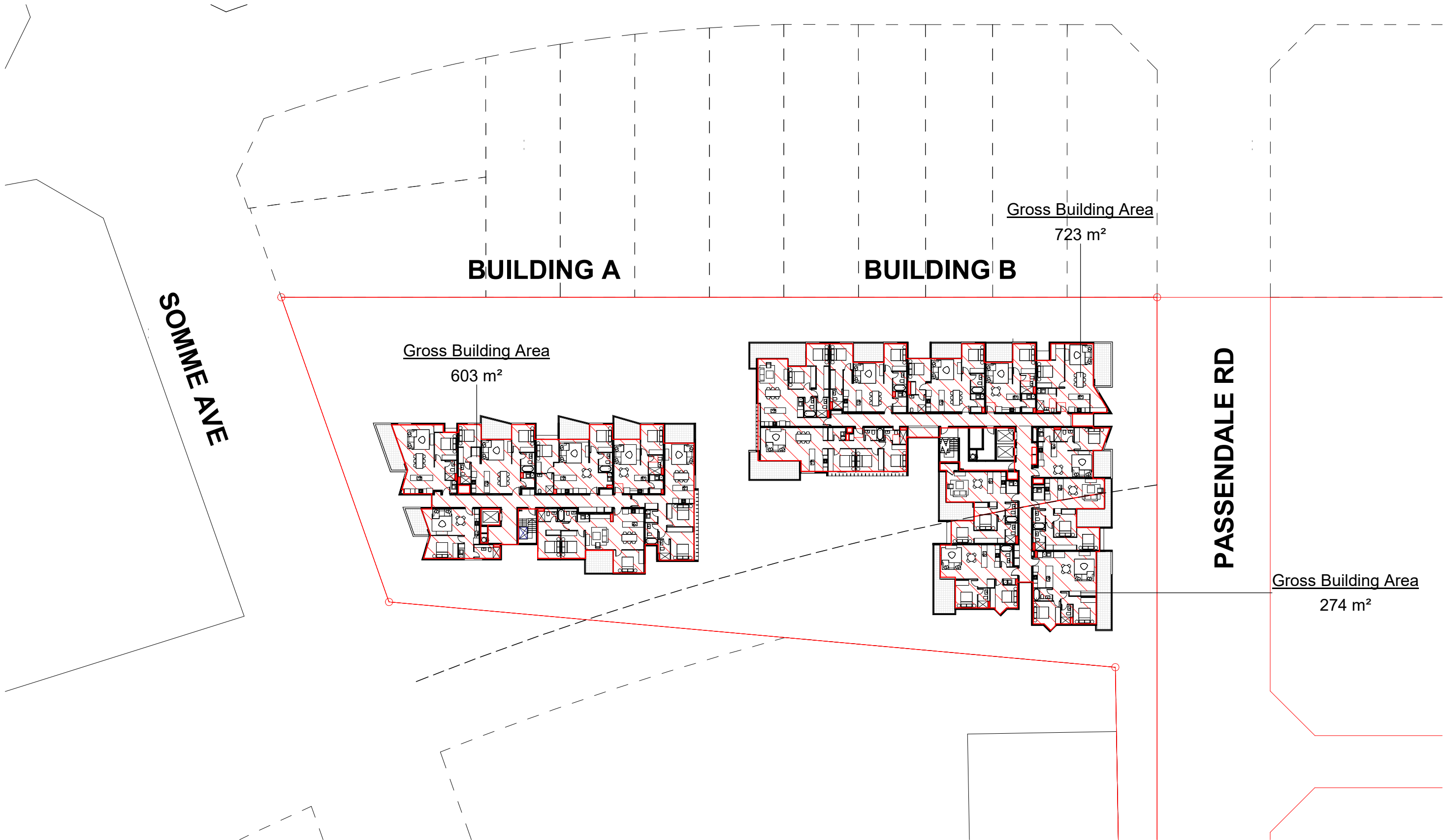
architect
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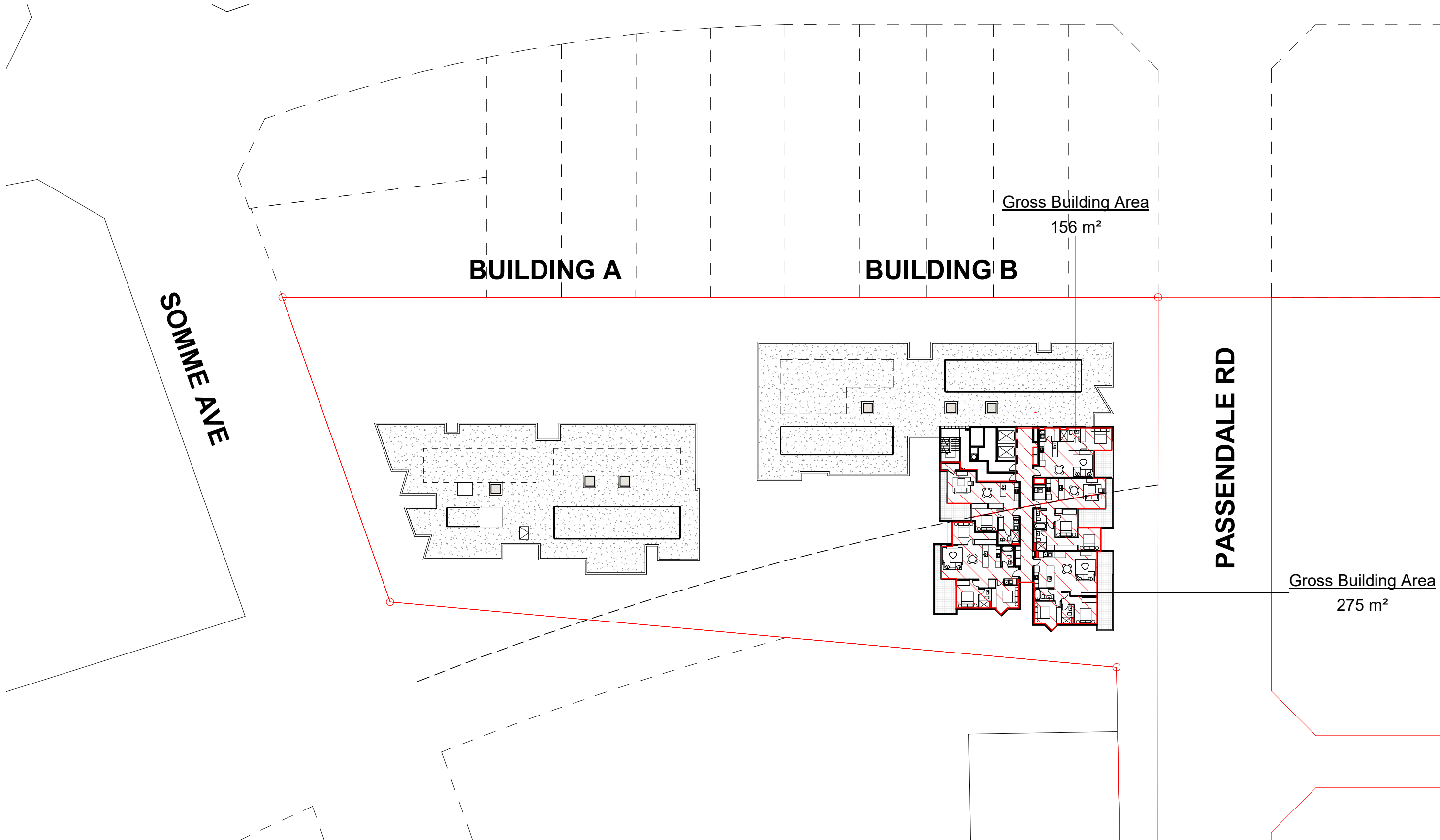
project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
checked drawing
FS
JN
drawing no
20 117

scale
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1:1000@A3
scale bar
0 5 10 15 20 25
m

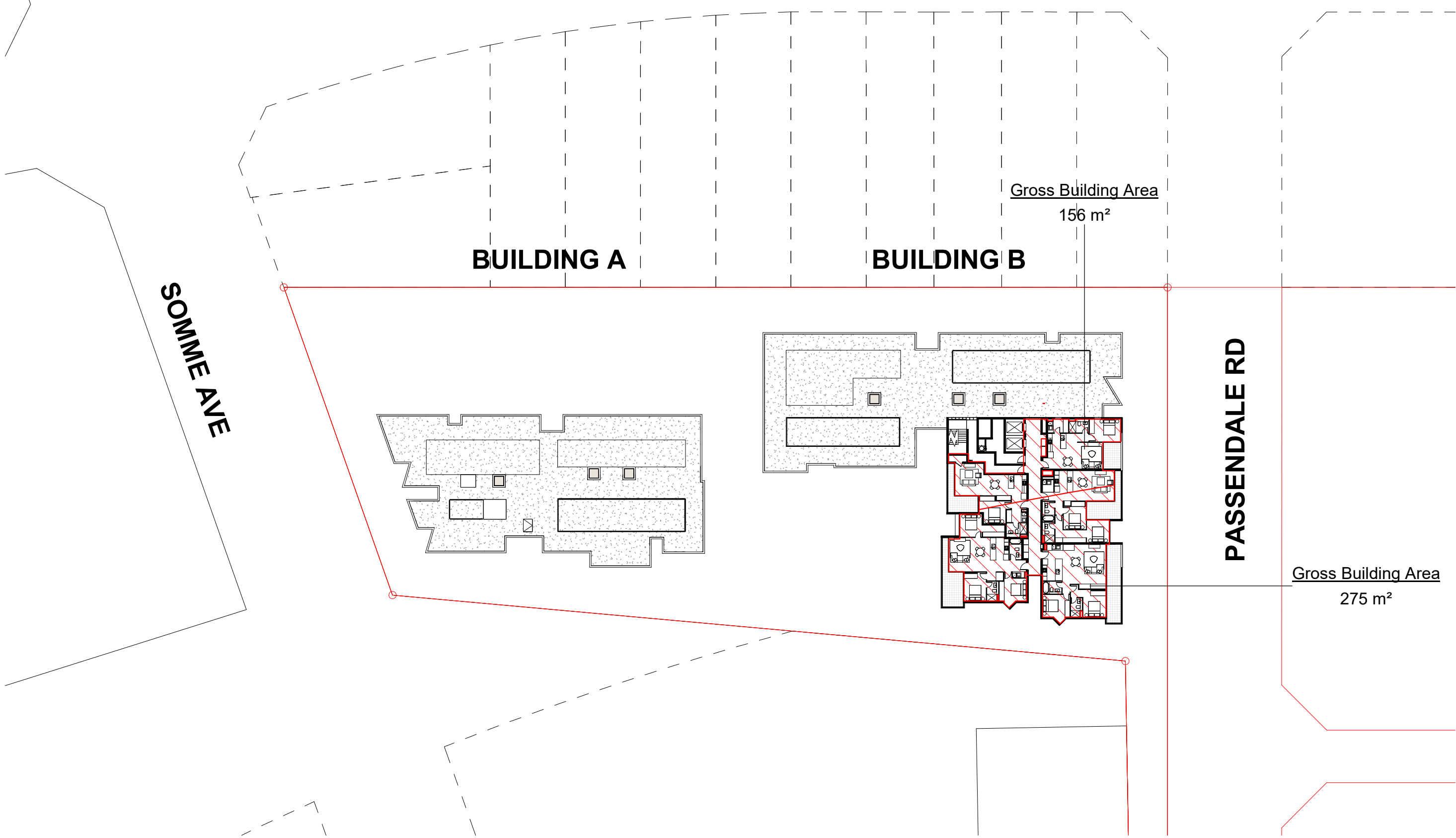
C
DA 8001



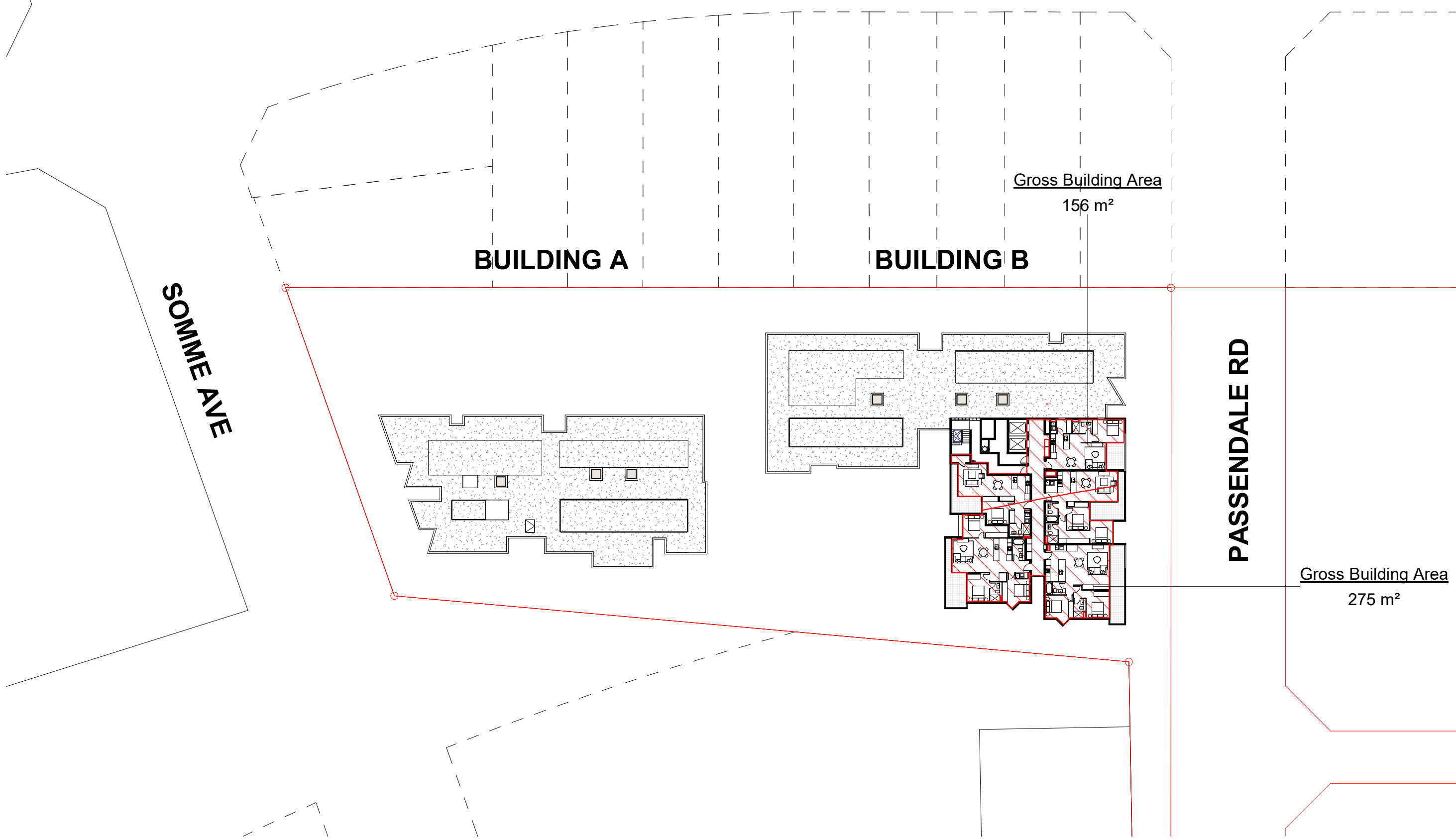
1 LEVEL 4 - NORTH
1 : 500



2 LEVEL 5 - NORTH
1 : 500



3 GFA LEVEL 6 - NORTH
1 : 500



4 GFA LEVEL 7 - NORTH
1 : 500

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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client
CROATIA 88 PTY LTD

project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
checked FS drawing
GFA DIAGRAMS - BLD A+B (SHEET 2)

scale
1:500@A1
1:1000@A3

scale bar
0 5 10 15 20 25
m

drawn JN issue

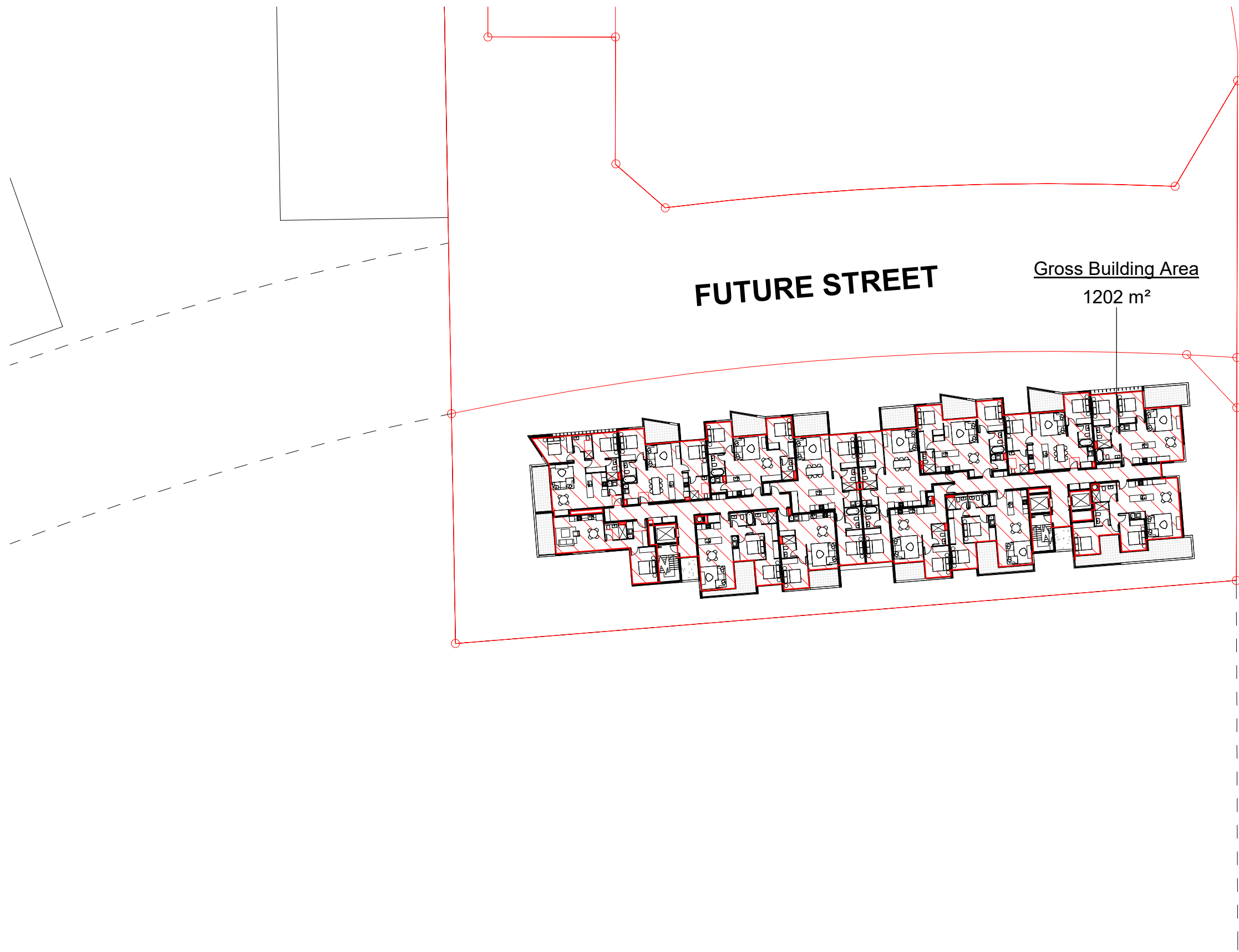
project no 20 117 drawing no

C

DA 8002



③ LEVEL 1 (G) - SOUTH
1 : 500



① LEVEL 3 - SOUTH
1 : 500

BERNERA ROAD

BERNERA ROAD



④ LEVEL 2 - SOUTH
1 : 500



② LEVEL 4 - SOUTH
1 : 500

BERNERA ROAD

BERNERA ROAD

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
GFA DIAGRAMS - BLD C (SHEET 1)

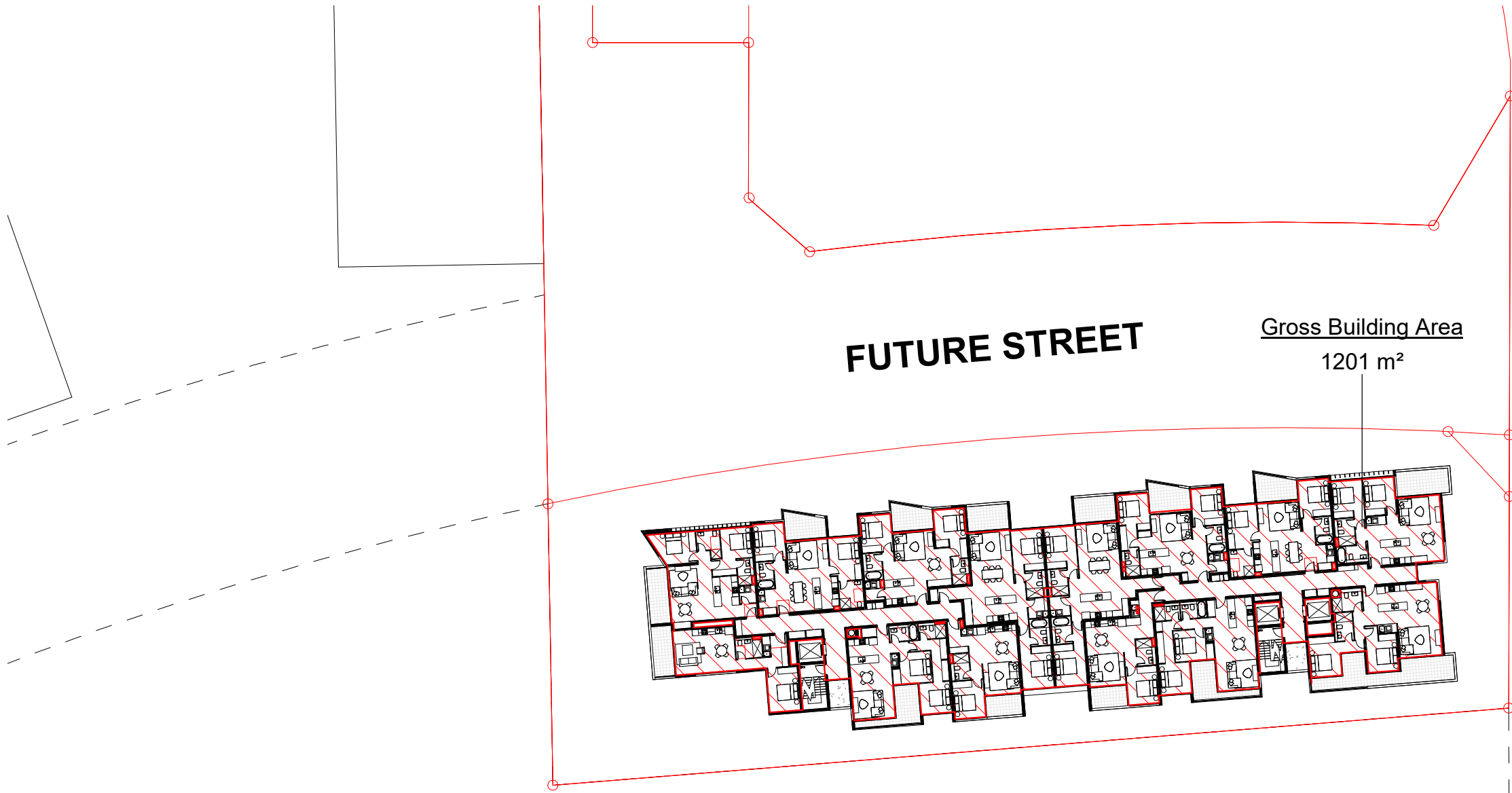
checked	FS	drawing	
drawn	JN	issue	
project no	20 117	drawing no	

scale
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scale bar
0 5 10 15 20 25
m

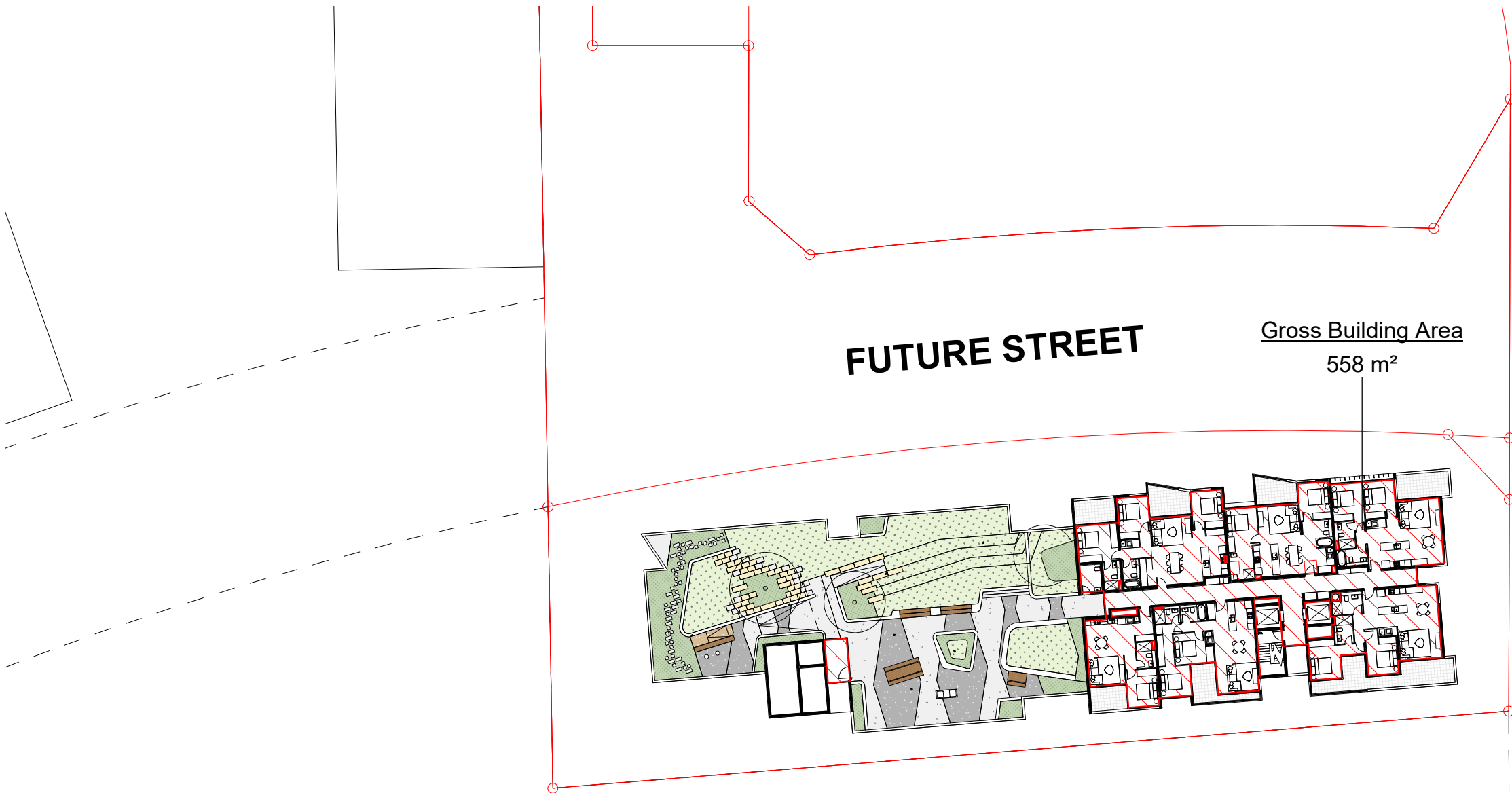
do not scale from drawings.
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DA 8003

1/03/2024 5:24:34 PM



① LEVEL 5 - SOUTH
1 : 500

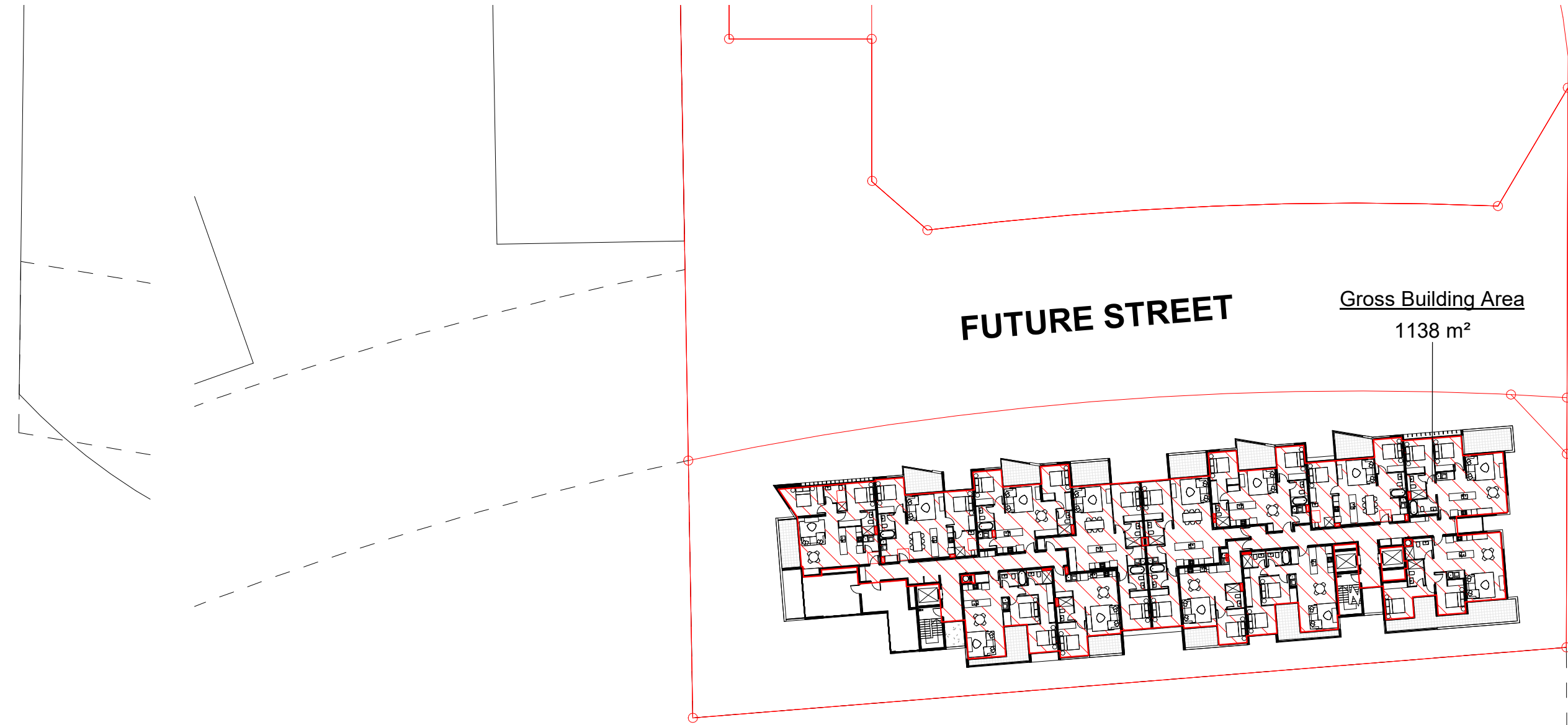


③ GFA LEVEL 7 - SOUTH
1 : 500

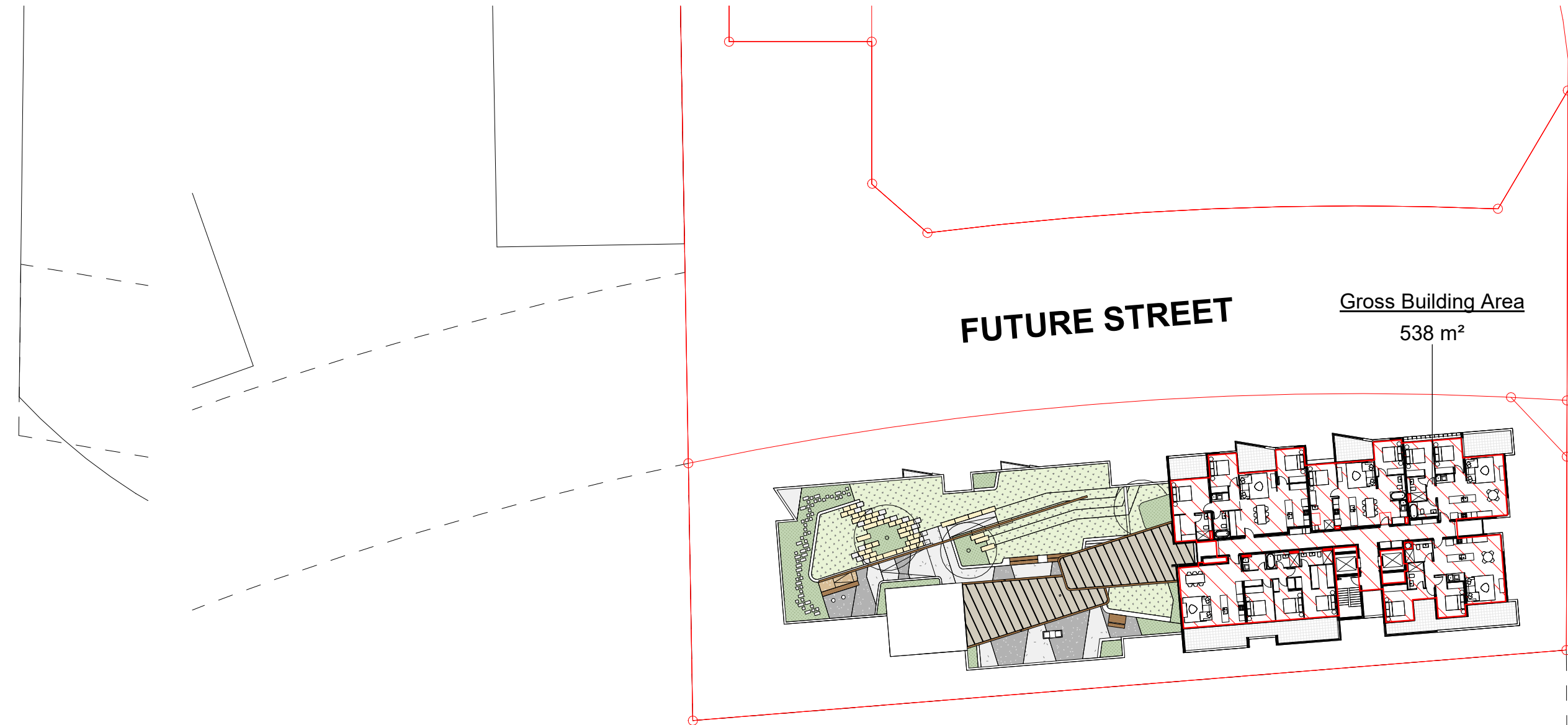
issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

BERNERA ROAD

BERNERA ROAD



② LEVEL 6 - SOUTH
1 : 500



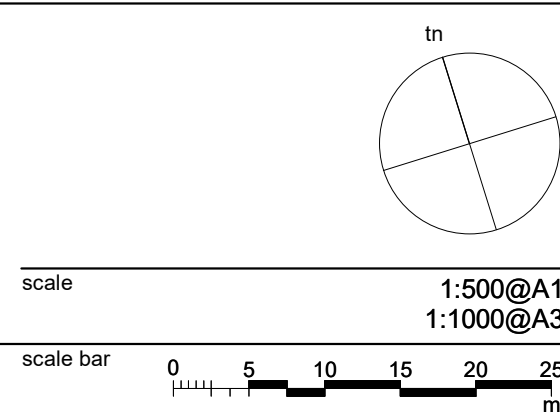
④ GFA LEVEL 8 - SOUTH
1 : 500

BERNERA ROAD

BERNERA ROAD

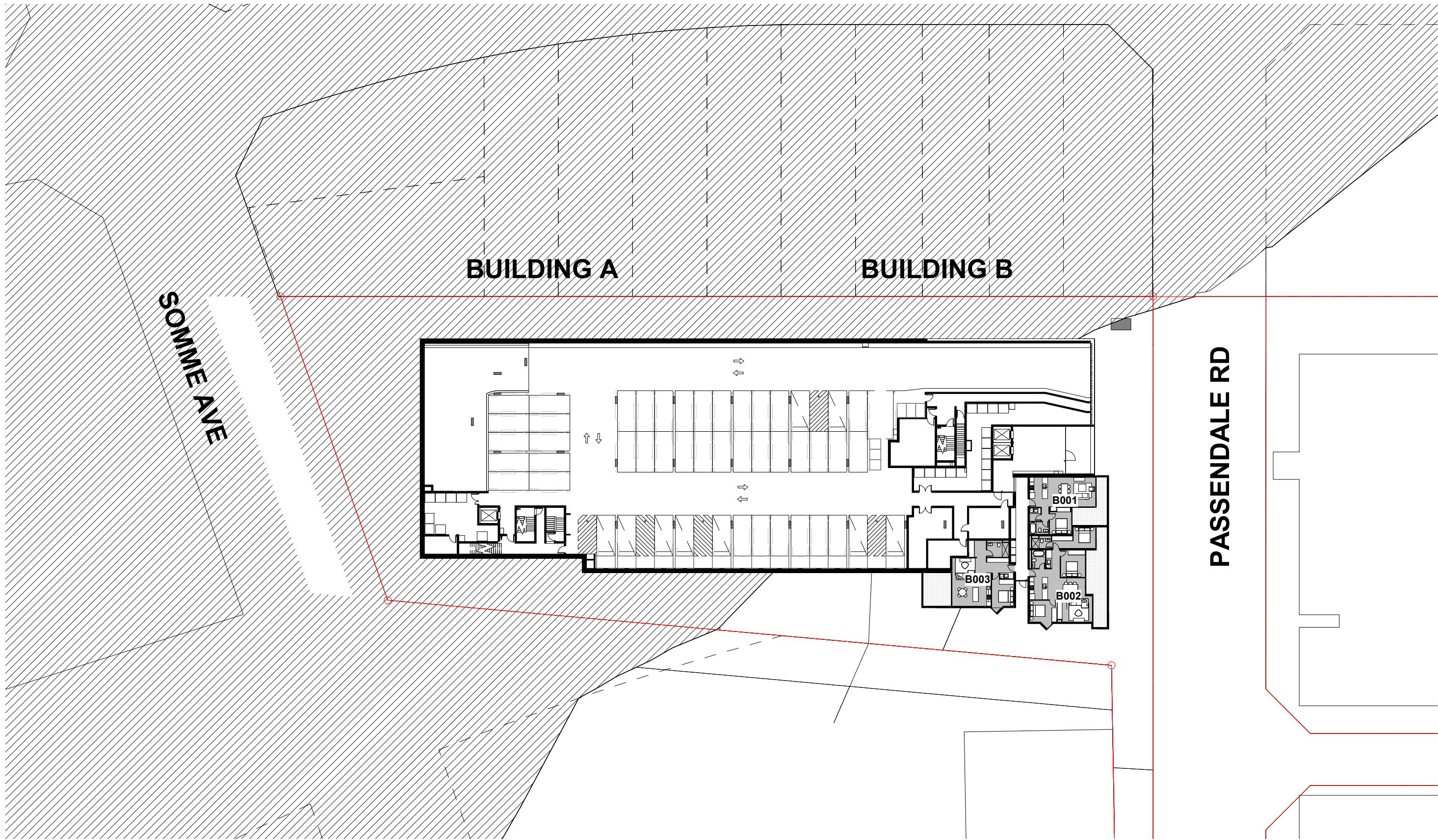
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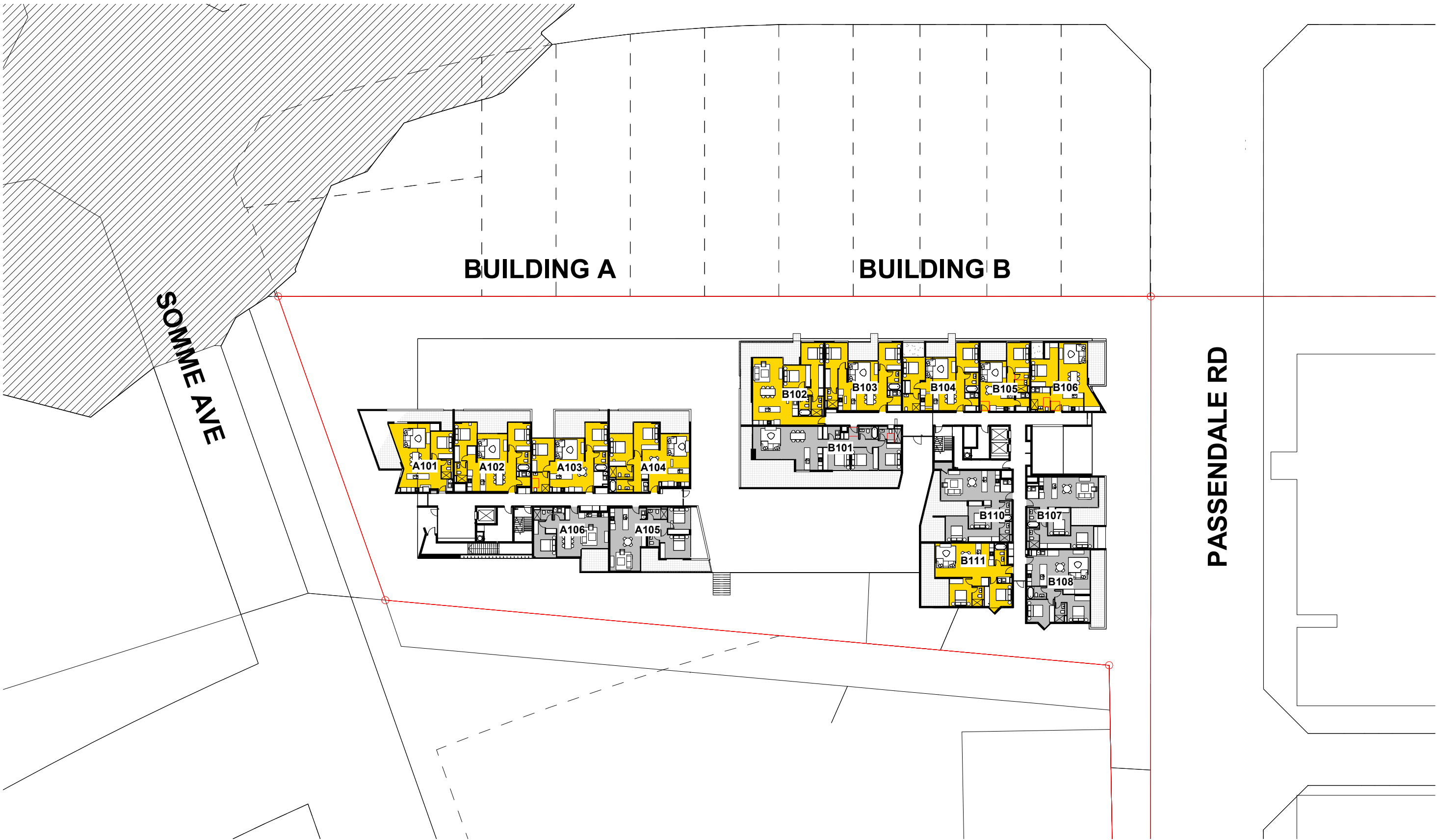


project	RESIDENTIAL APARTMENT DEVELOPMENT LOT 101 DP 1267563 SOMME AVENUE EDMONDSON PARK GFA DIAGRAMS - BLD C (SHEET 2)		
checked	FS	drawing	
drawn	JN	issue	
project no	20 117	drawing no	

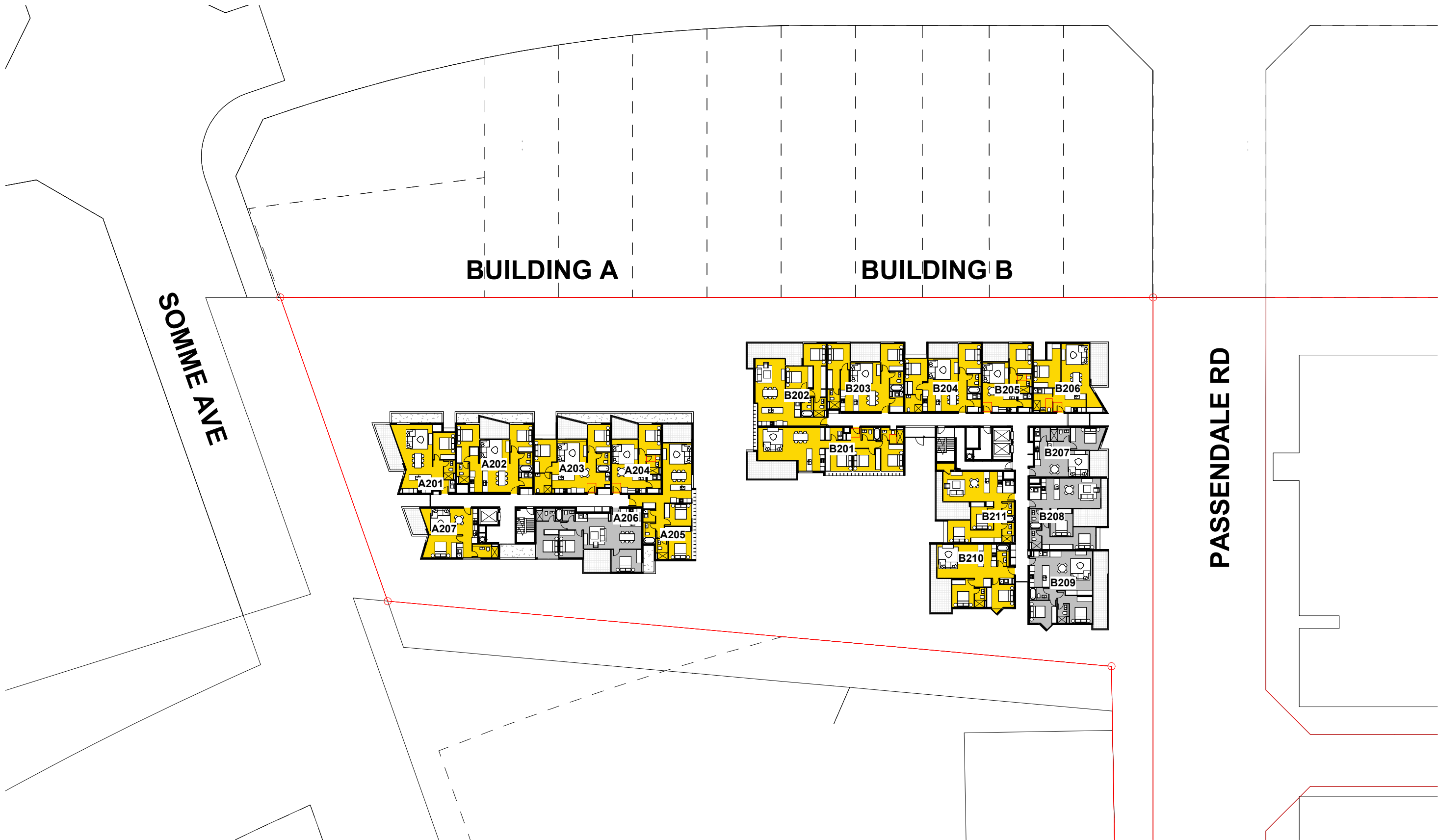
B
DA 8004



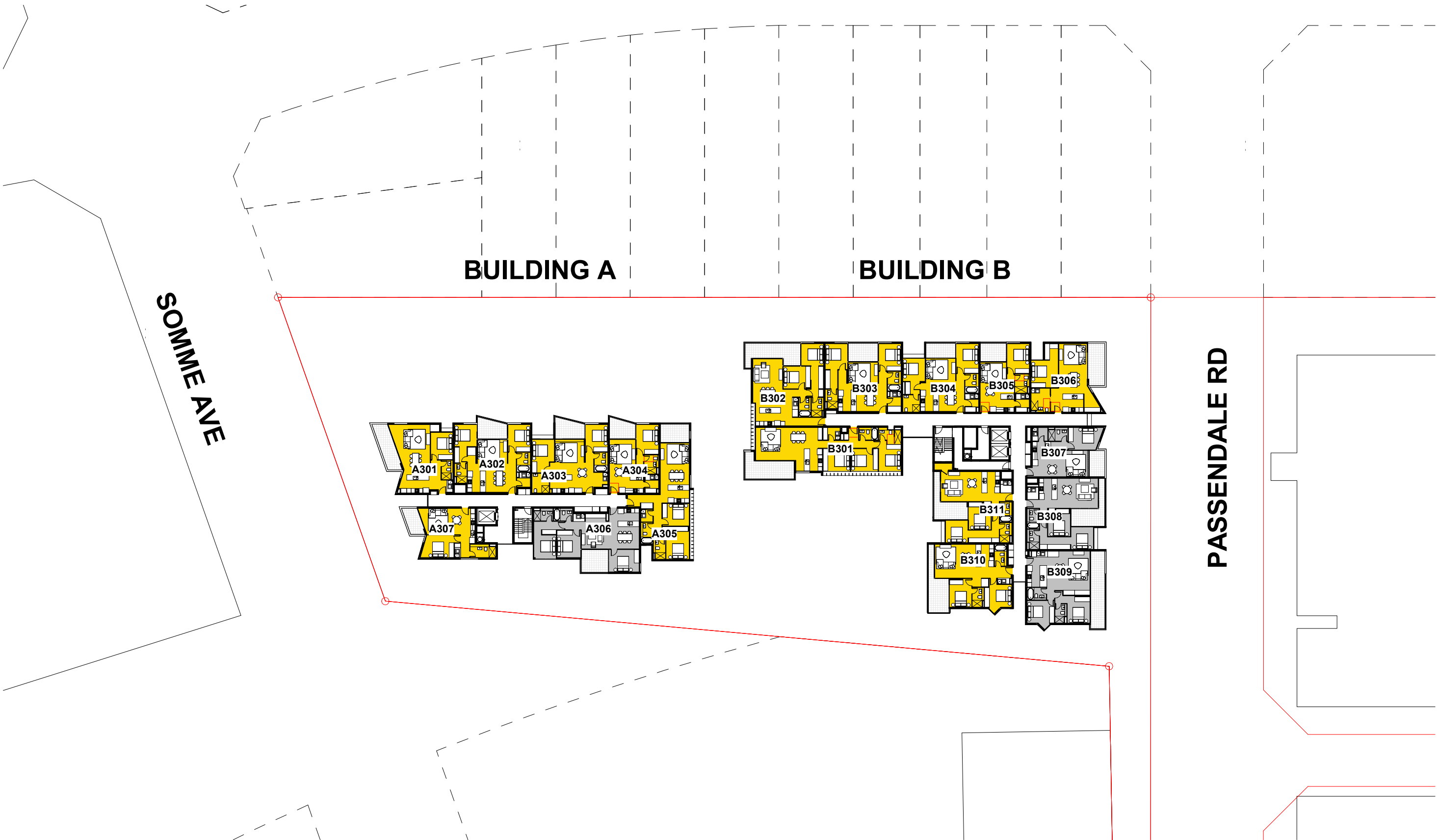
① LEVEL LG (B1) (BLD A+B) - SOLAR ACCESS
1 : 500



② LEVEL 1 (G) (BLD A+B) - SOLAR ACCESS
1 : 500



③ LEVEL 2 (BLD A+B) - SOLAR ACCESS
1 : 500



④ LEVEL 3 (BLD A+B) - SOLAR ACCESS
1 : 500

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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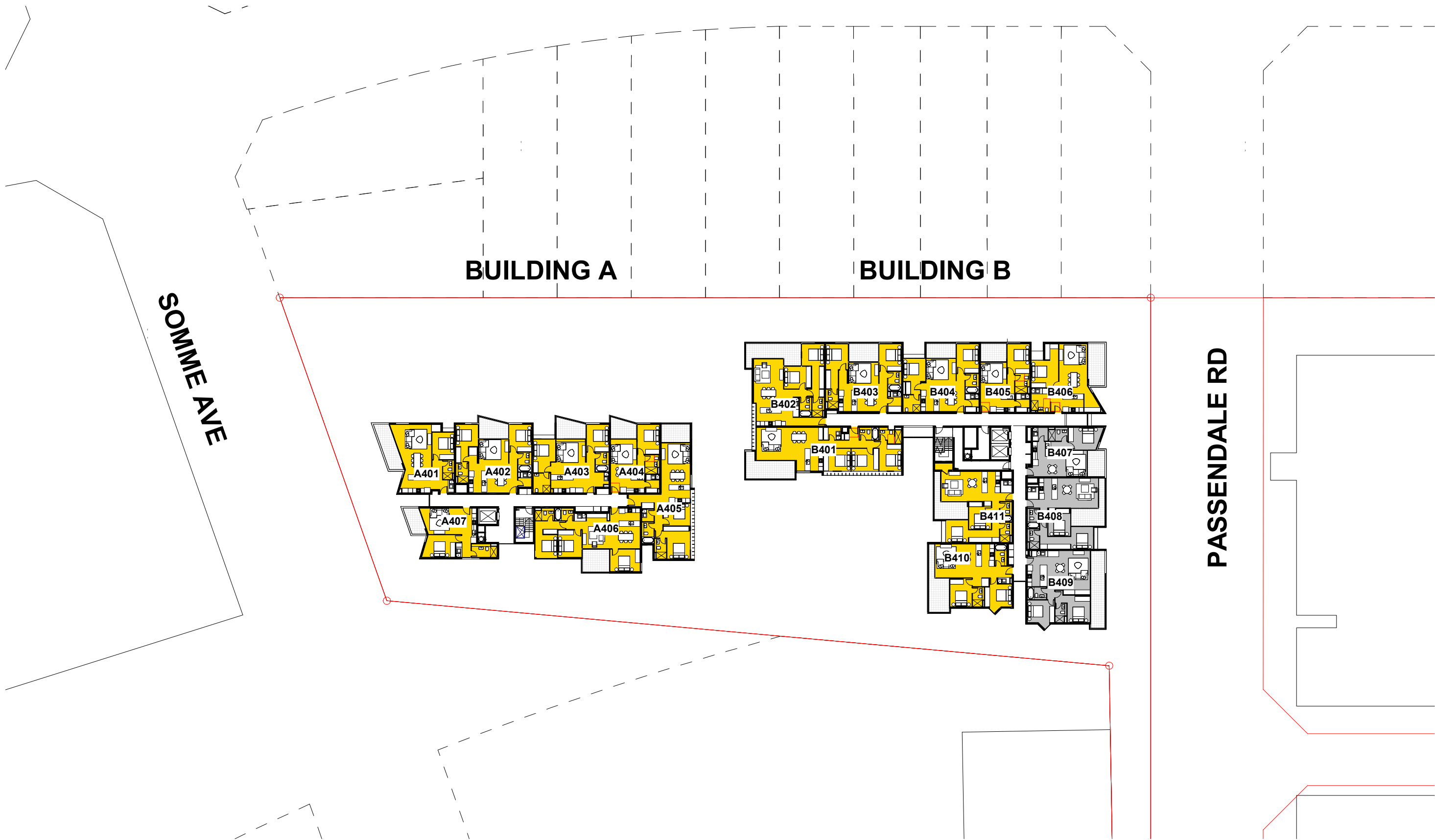
client
CROATIA 88 PTY LTD

project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked FS drawing
drawn JN issue
project no 20 117 drawing no

scale
1:500@A1
1:1000@A3

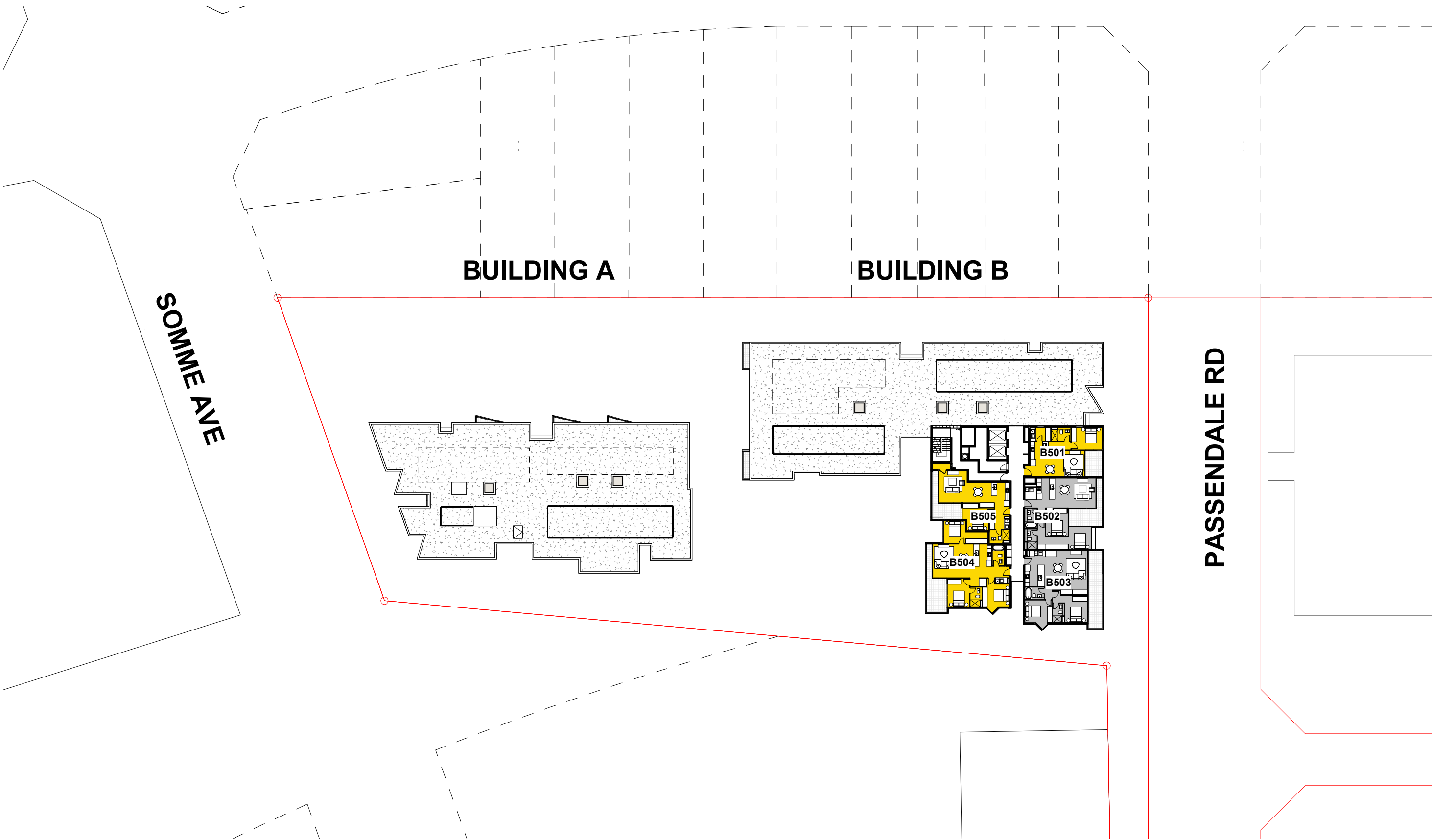




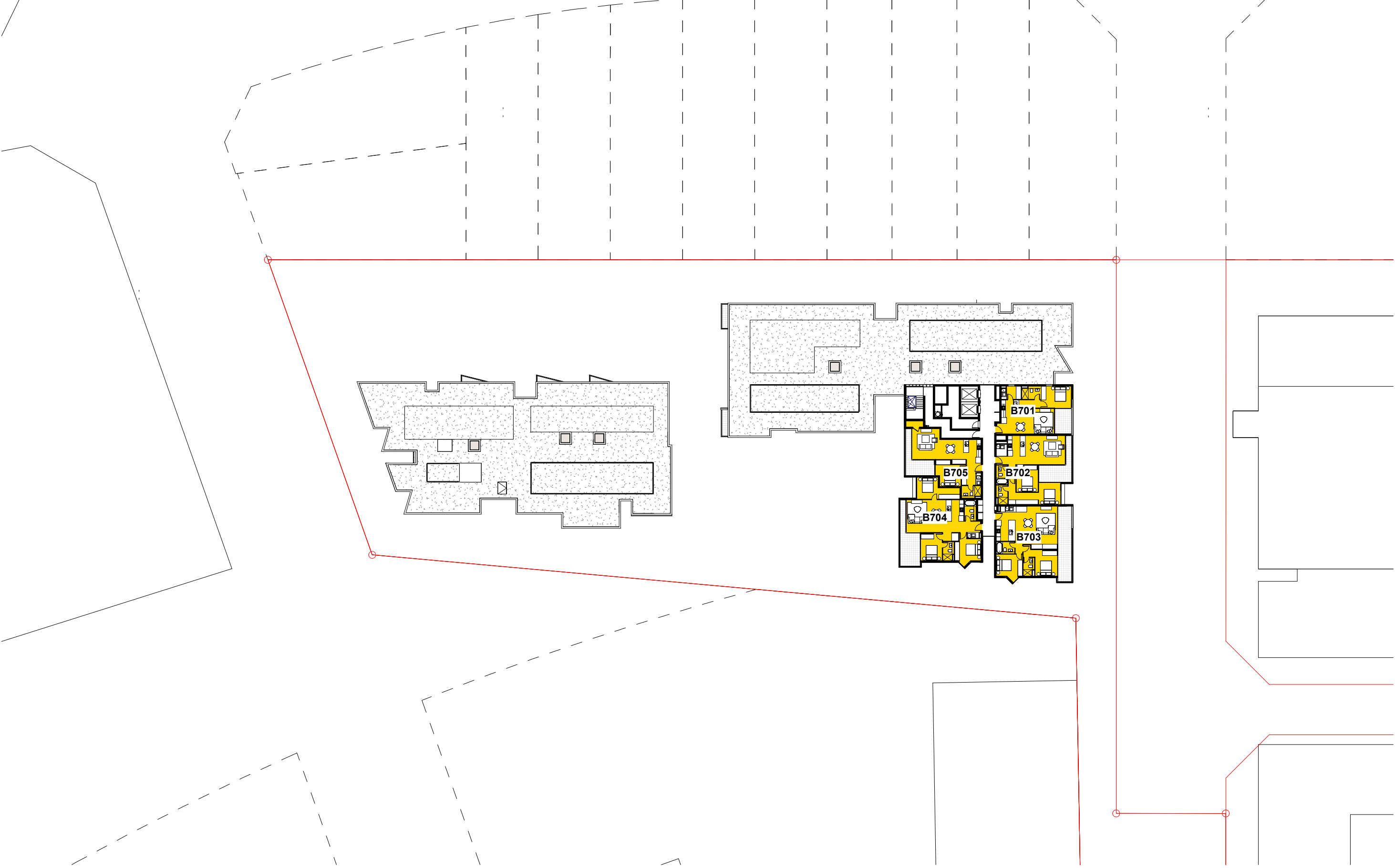
① LEVEL 4 (BLD A+B) - SOLAR ACCESS
1 : 500



③ LEVEL 6 - (BLD A+B) - SOLAR ACCESS
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④ LEVEL 7 - (BLD A+B) - SOLAR ACCESS
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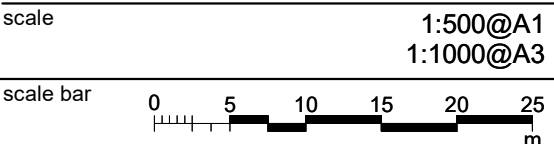
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A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	AMENDMENTS INCORPORATING DEP COMMENTS	26.05.22	
C	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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client
CROATIA 88 PTY LTD

project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked	drawing	project no	drawing no
FS	SOLAR ACCESS DIAGRAMS - BLD A+B (SHEET 2)	20 117	
drawn	issue		
JN			





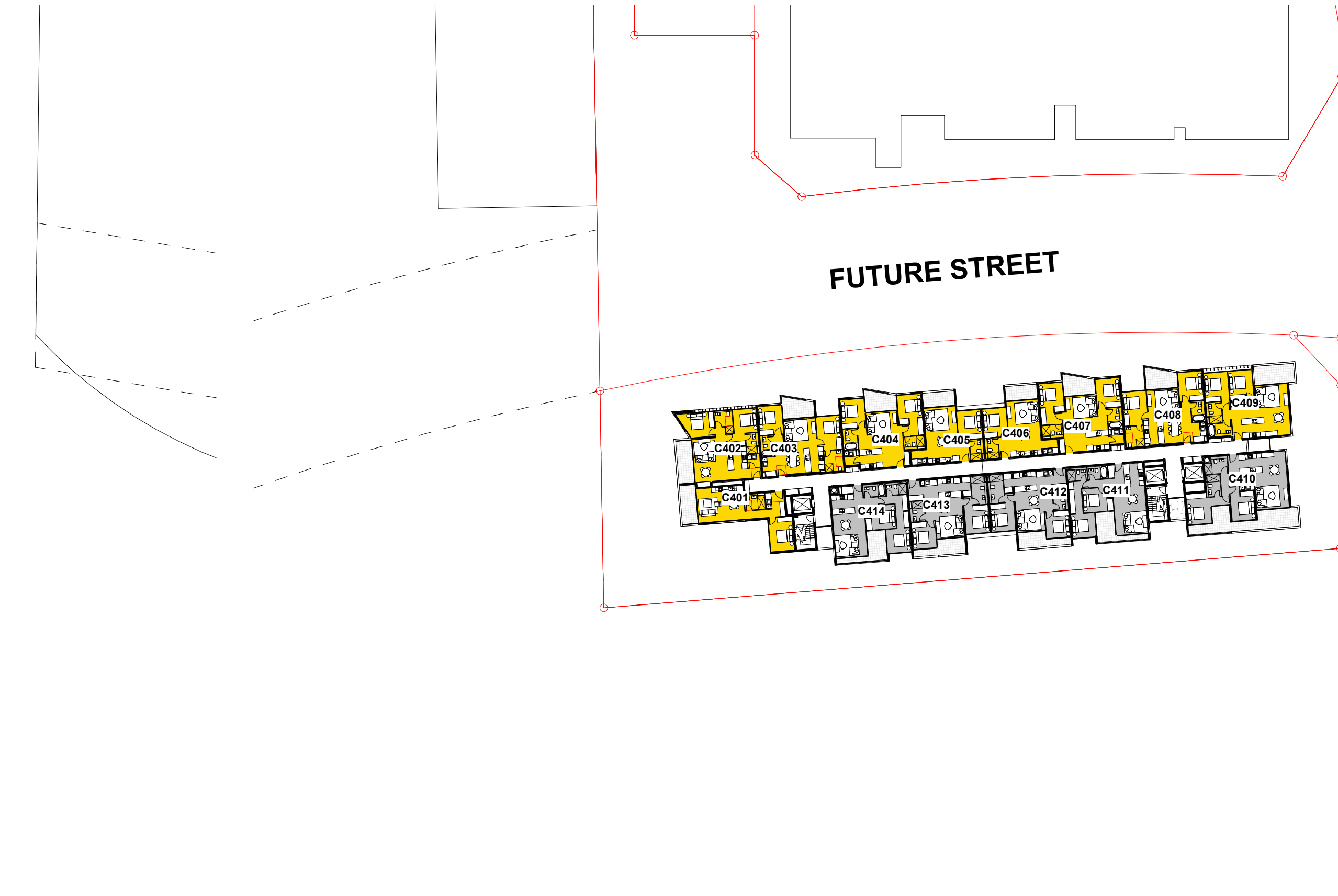
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③ LEVEL 3 (BLD A) - SOLAR ACCESS
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② LEVEL 2 (BLD A) - SOLAR ACCESS
1 : 500



④ LEVEL 4 (BLD A) - SOLAR ACCESS
1 : 500

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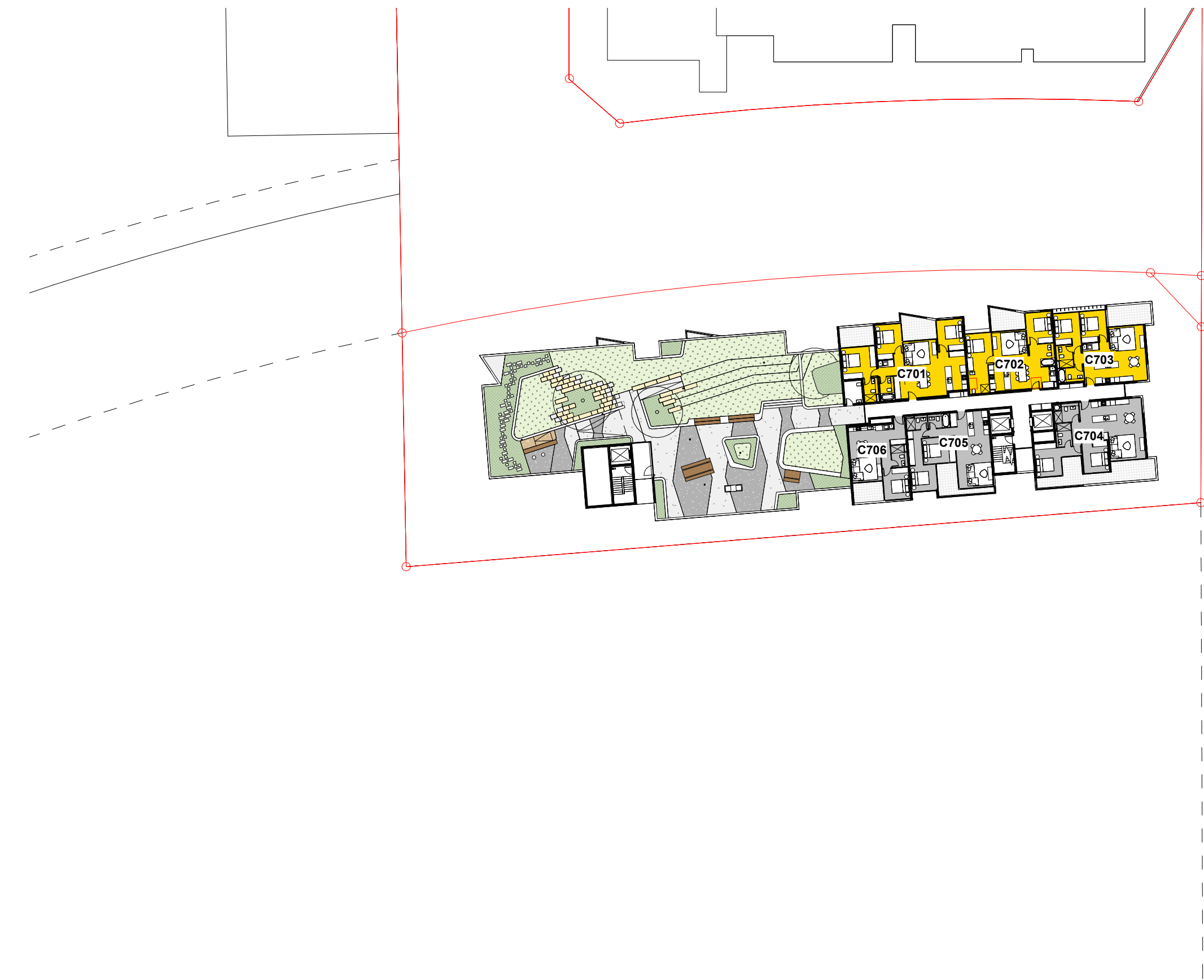
client
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project
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LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
checked FS drawing
drawn JN issue
project no 20 117 drawing no

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① LEVEL 5 (BLD A) - SOLAR ACCESS
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③ LEVEL 7 - SOUTH (BLD C) - SOLAR ACCESS
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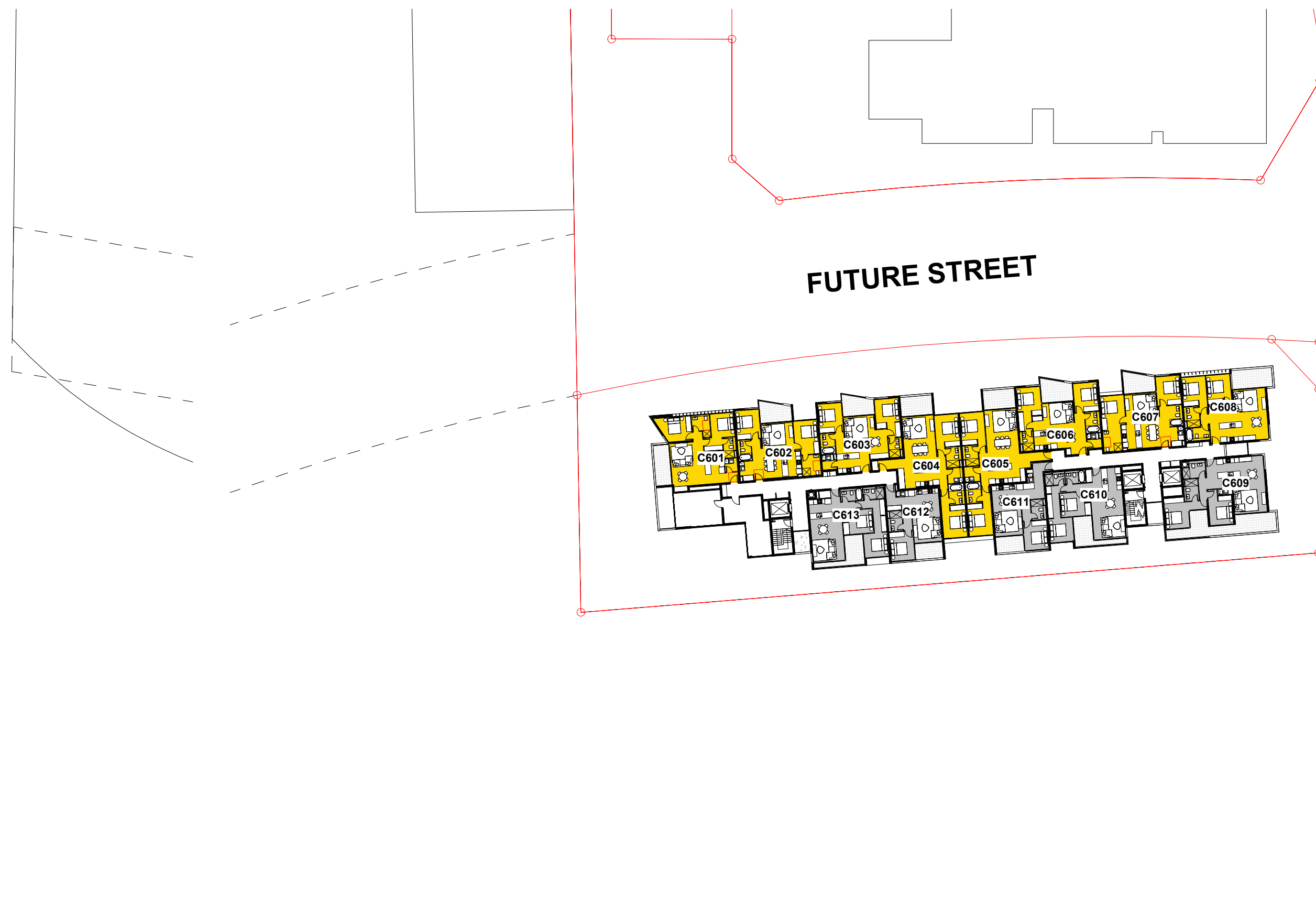
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A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
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do not scale from drawings.

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BERNERA ROAD



② LEVEL 6 (BLD A) - SOLAR ACCESS
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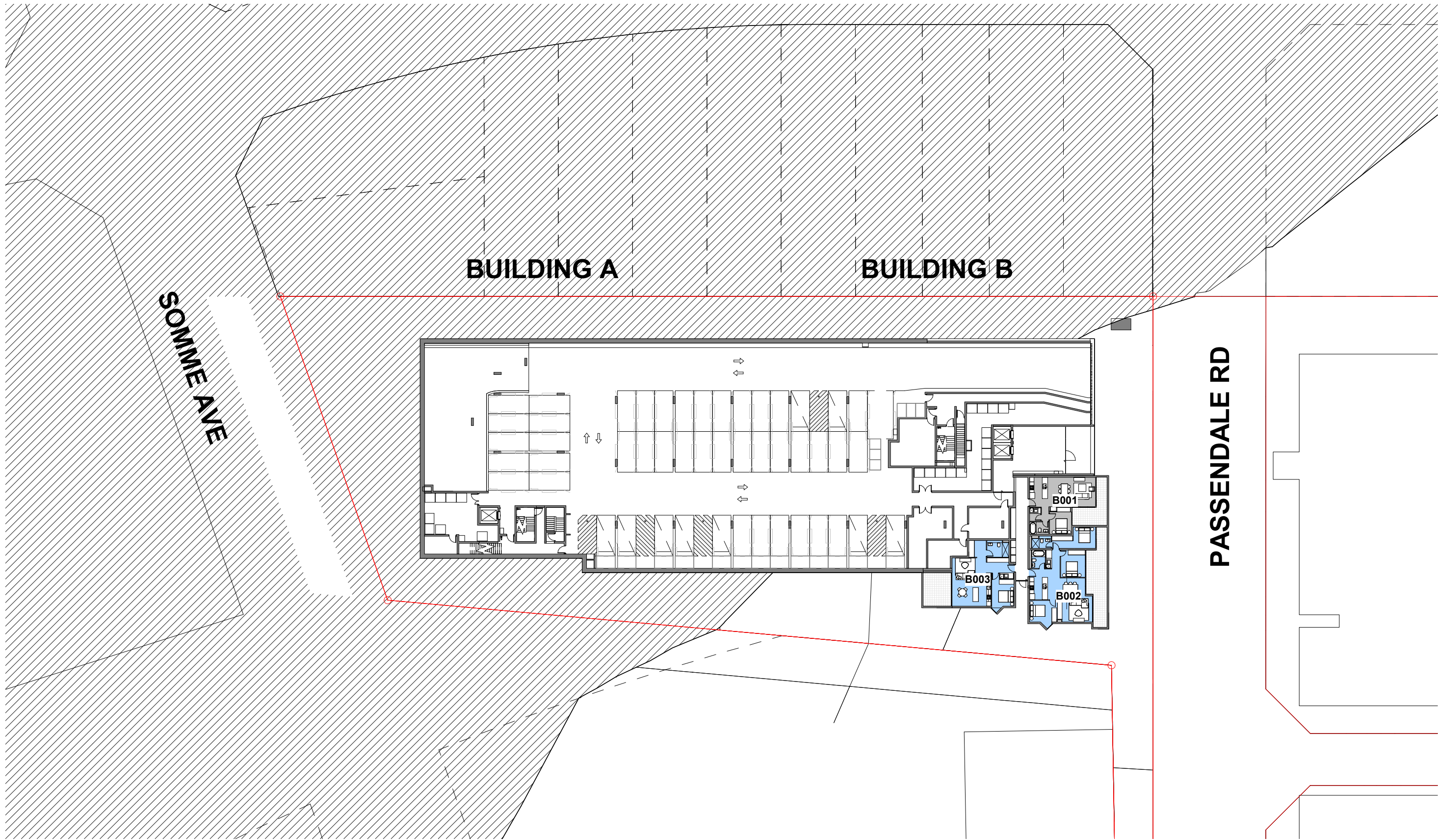
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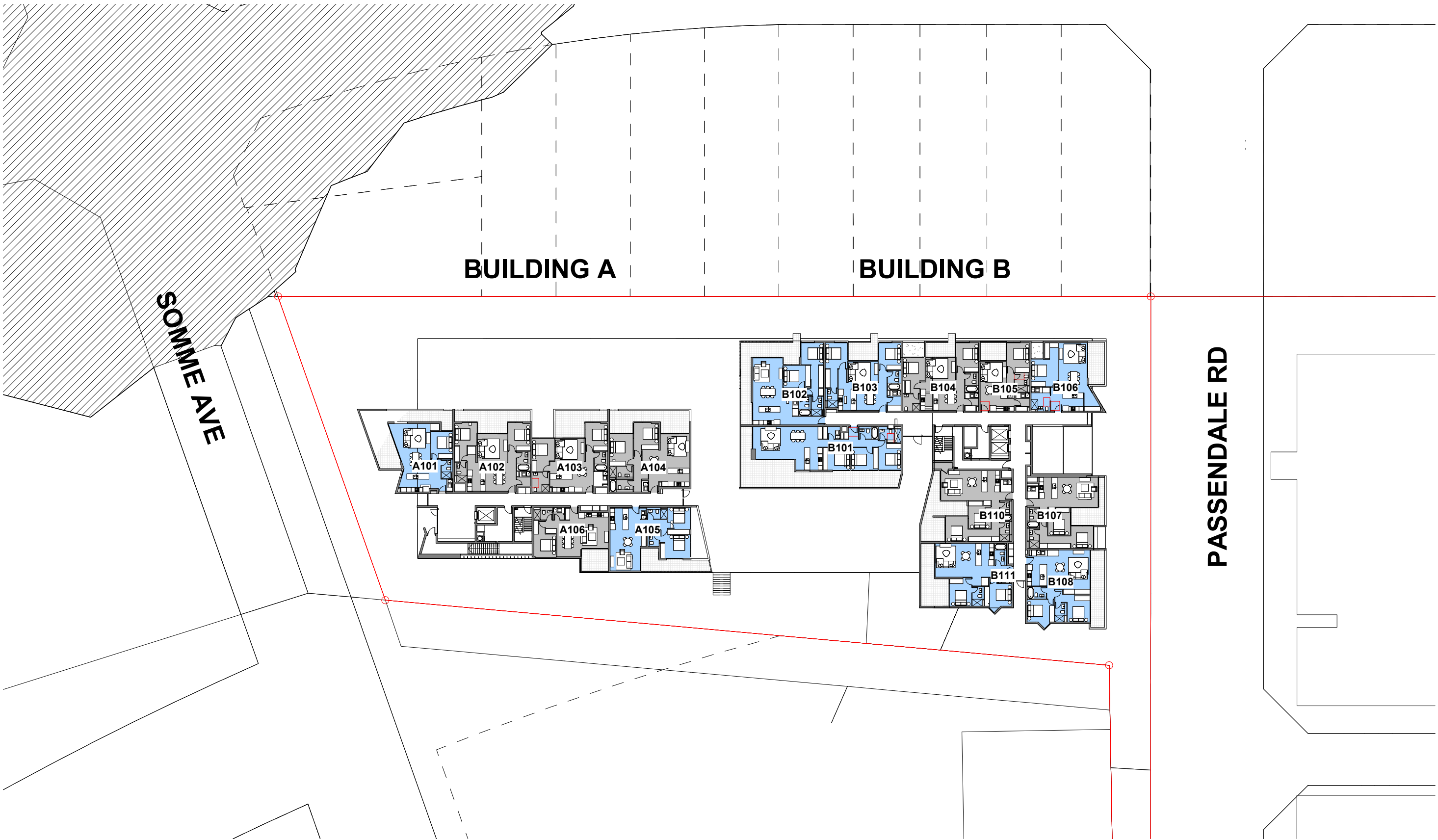
client
CROATIA 88 PTY LTD

project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
checked FS drawing
drawn JN issue
project no 20 117 drawing no
DA 8008

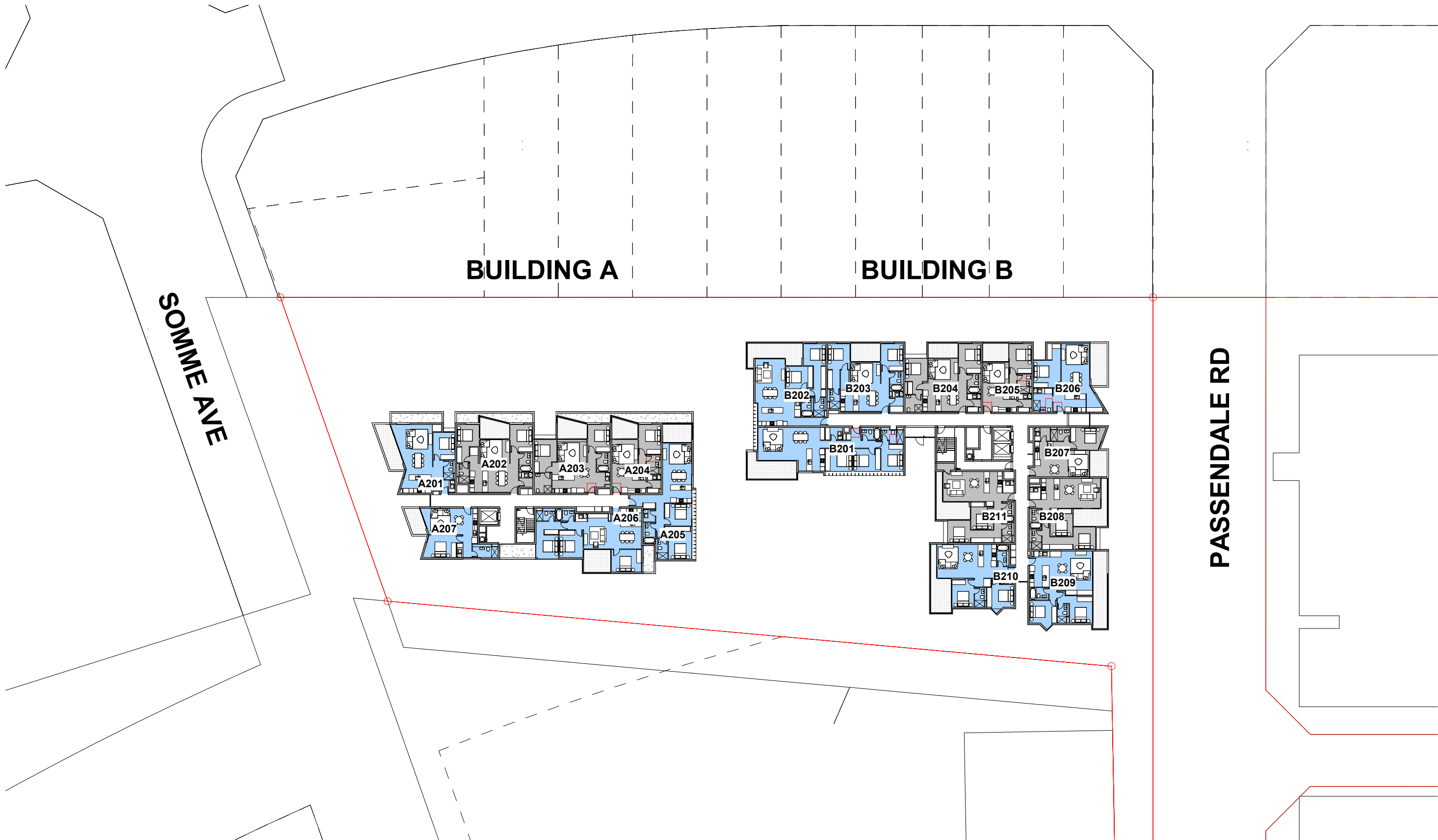
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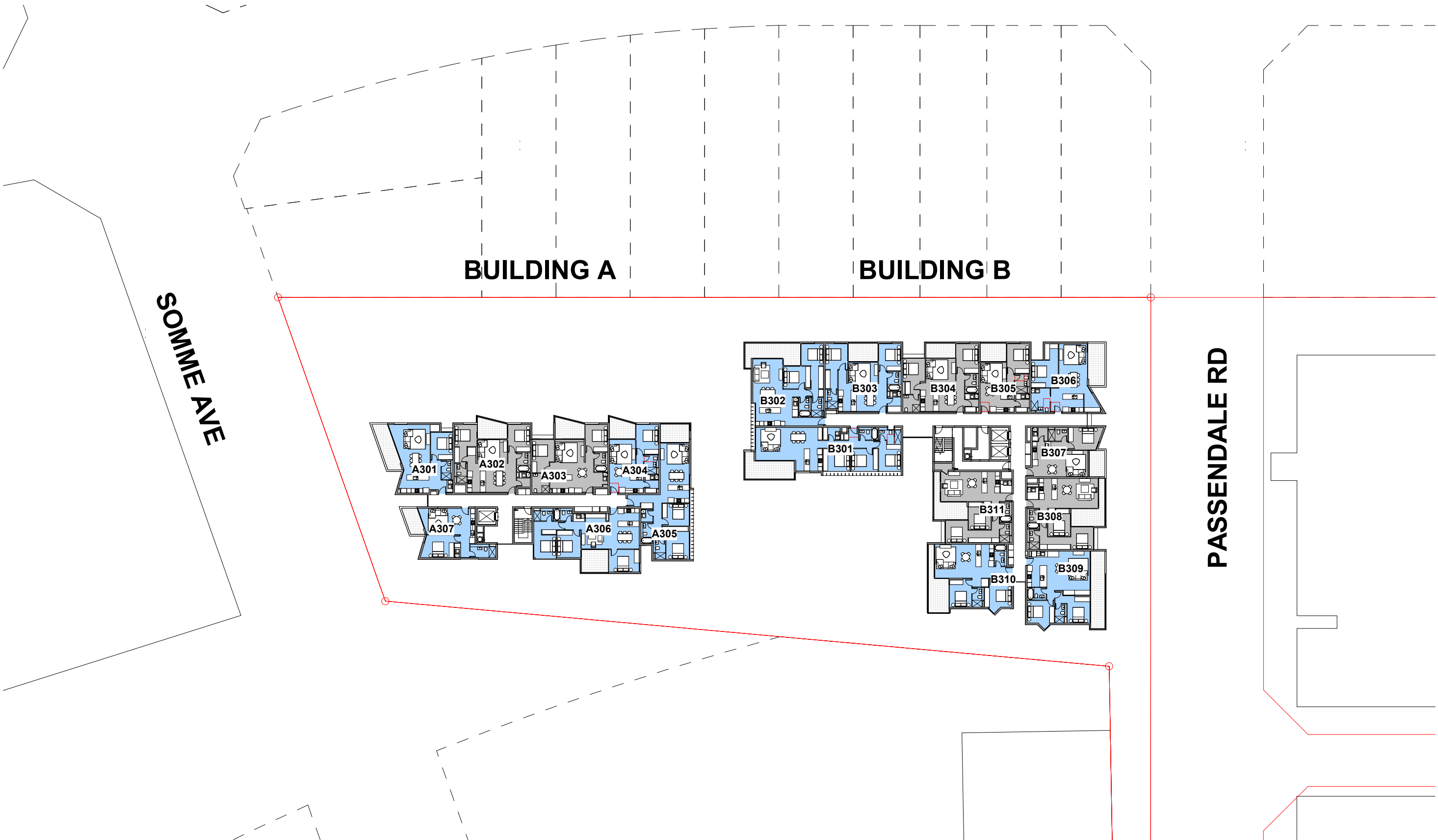
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2 LEVEL 1 (G) (BLD A+B) - NATURAL CROSS VENTILATION
1 : 500



3 LEVEL 2 (BLD A+B) - NATURAL CROSS VENTILATION
1 : 500



4 LEVEL 3 (BLD A+B) - NATURAL CROSS VENTILATION
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drawn JN issue
project no 20 117 drawing no

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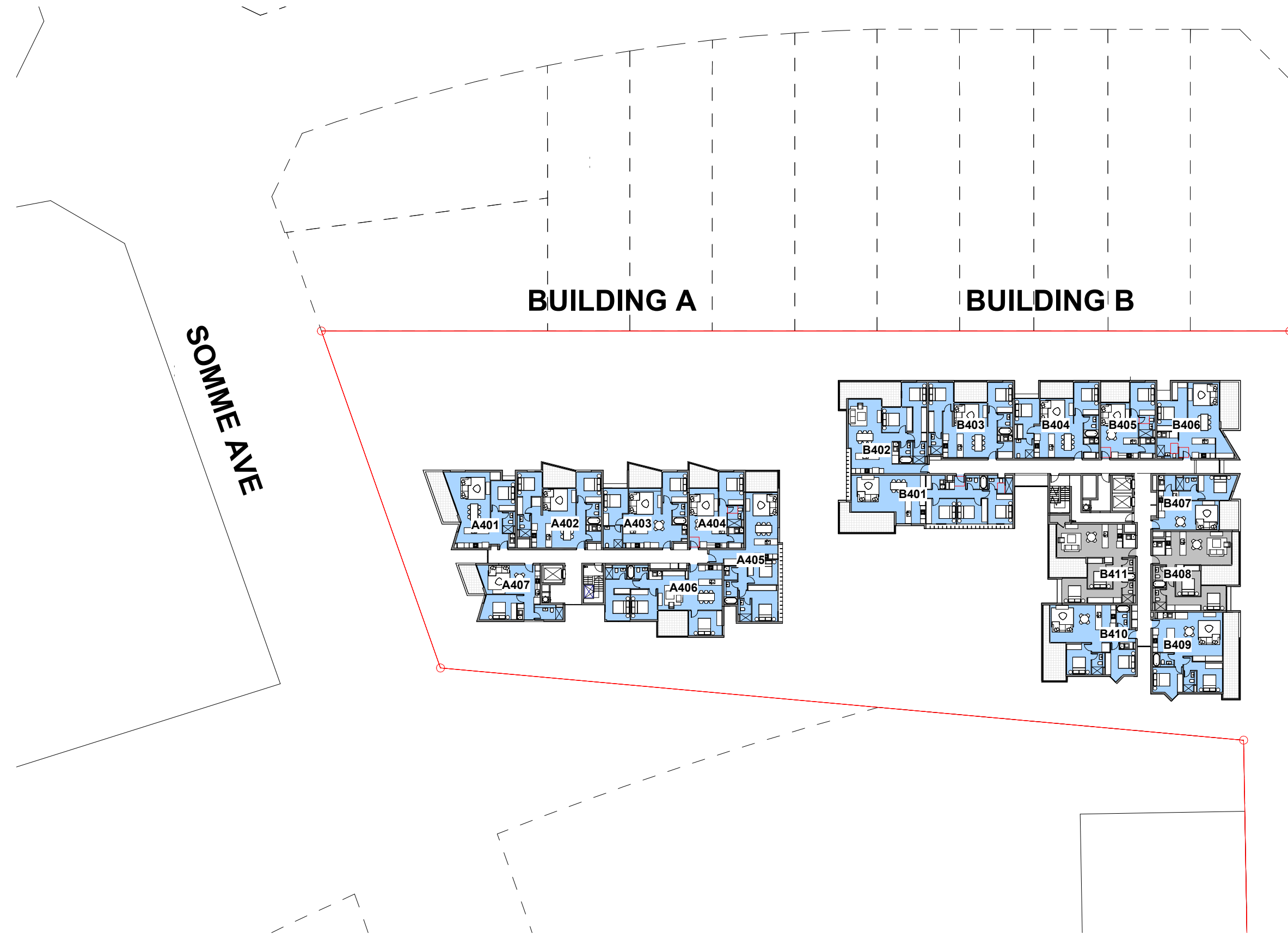
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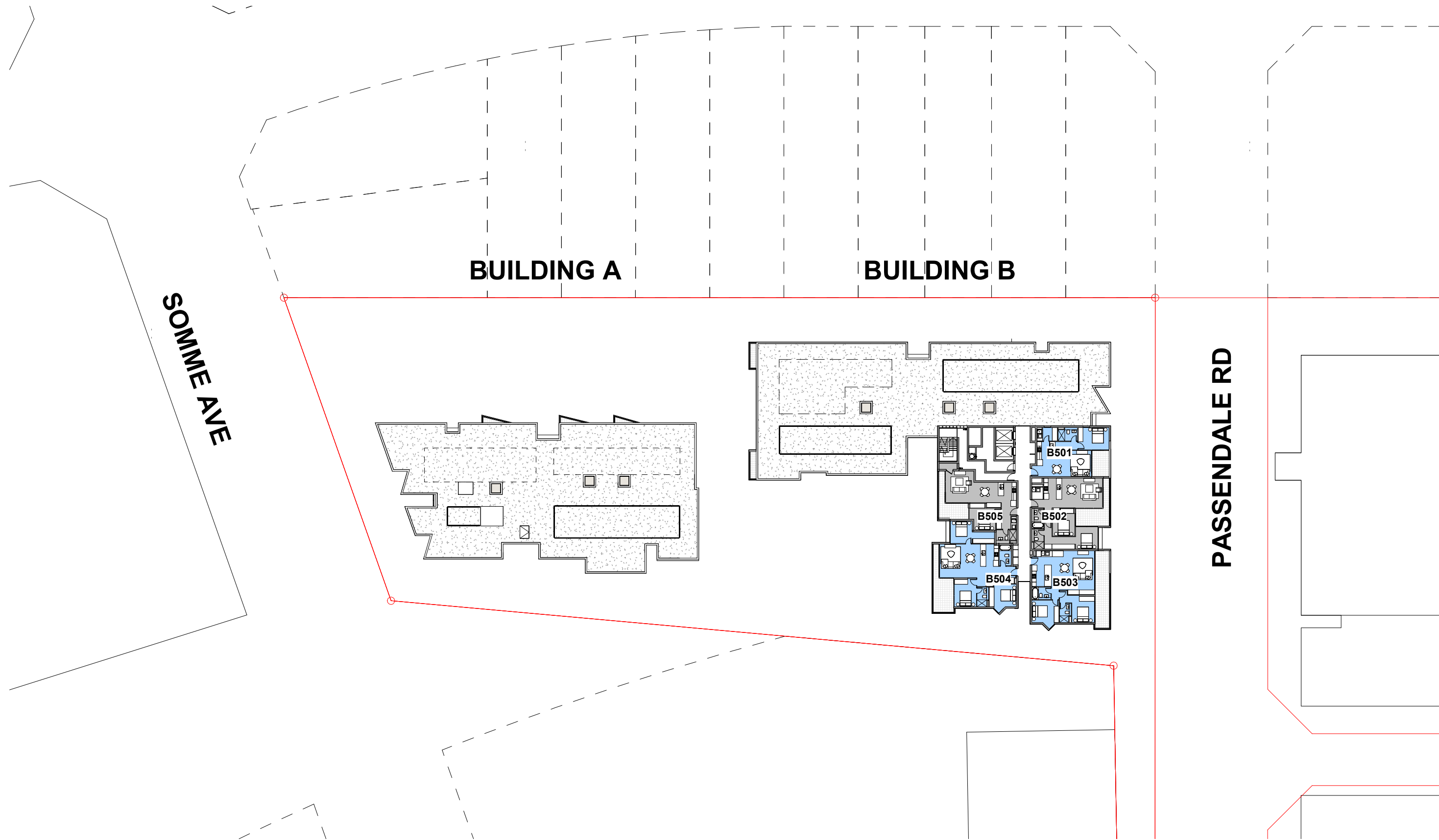
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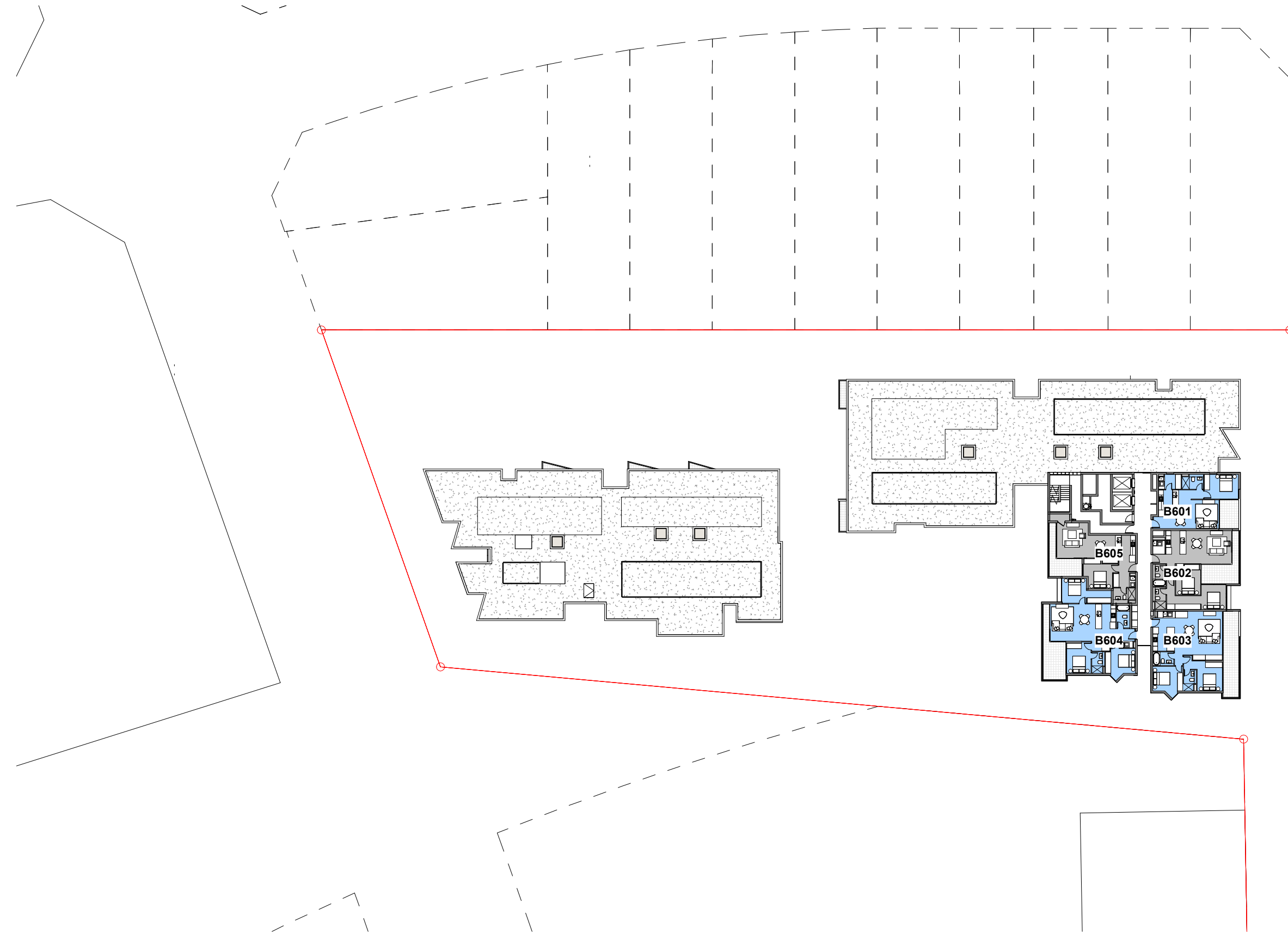
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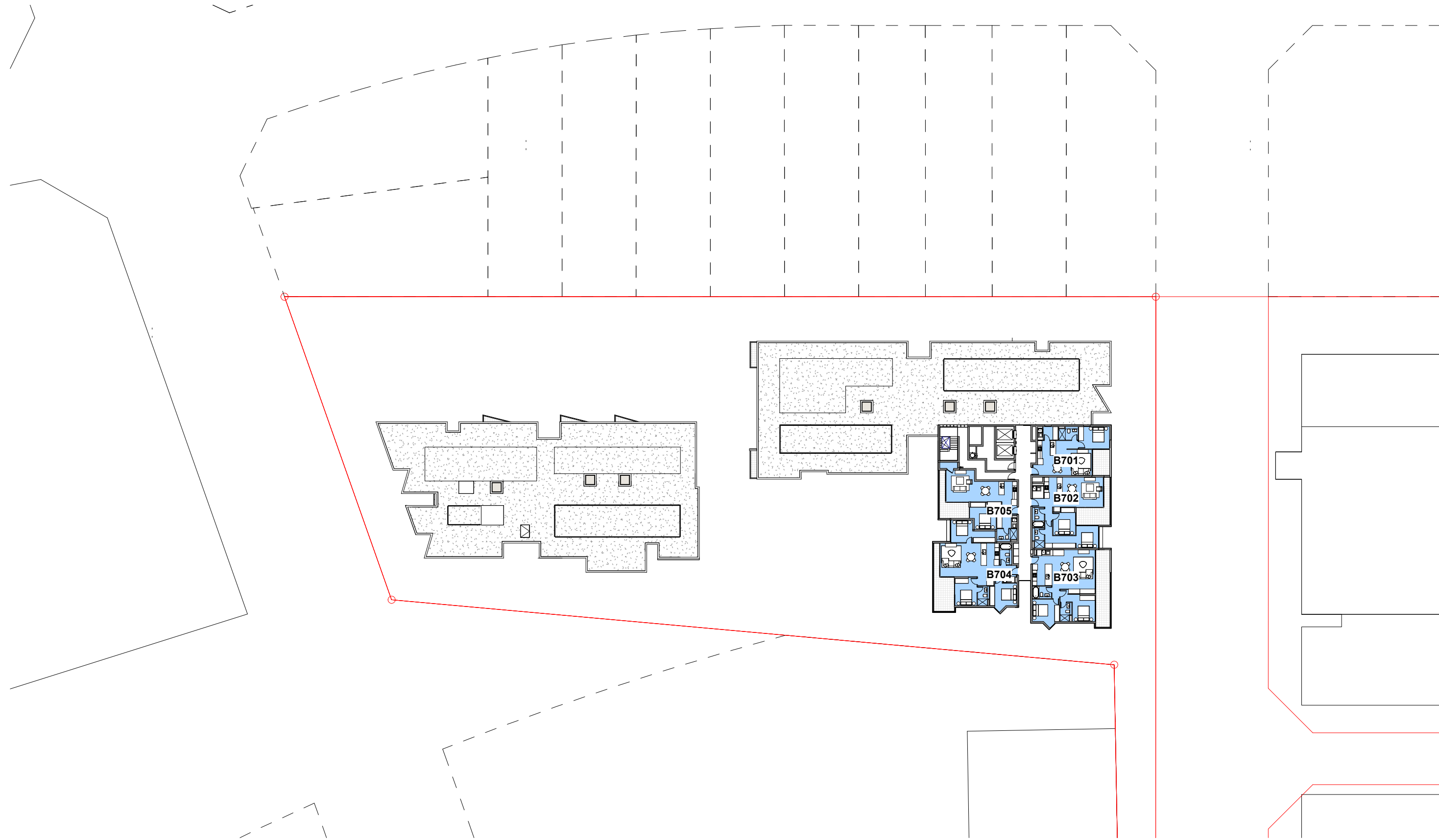
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② LEVEL 5 (BLD A+B) - NATURAL CROSS VENTILATION
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③ LEVEL 6 - (BLD A+B) - NATURAL CROSS VENTILATION
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④ LEVEL 7 - (BLD A+B) - NATURAL CROSS VENTILATION
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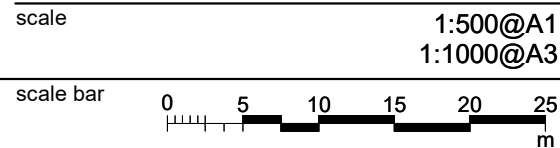
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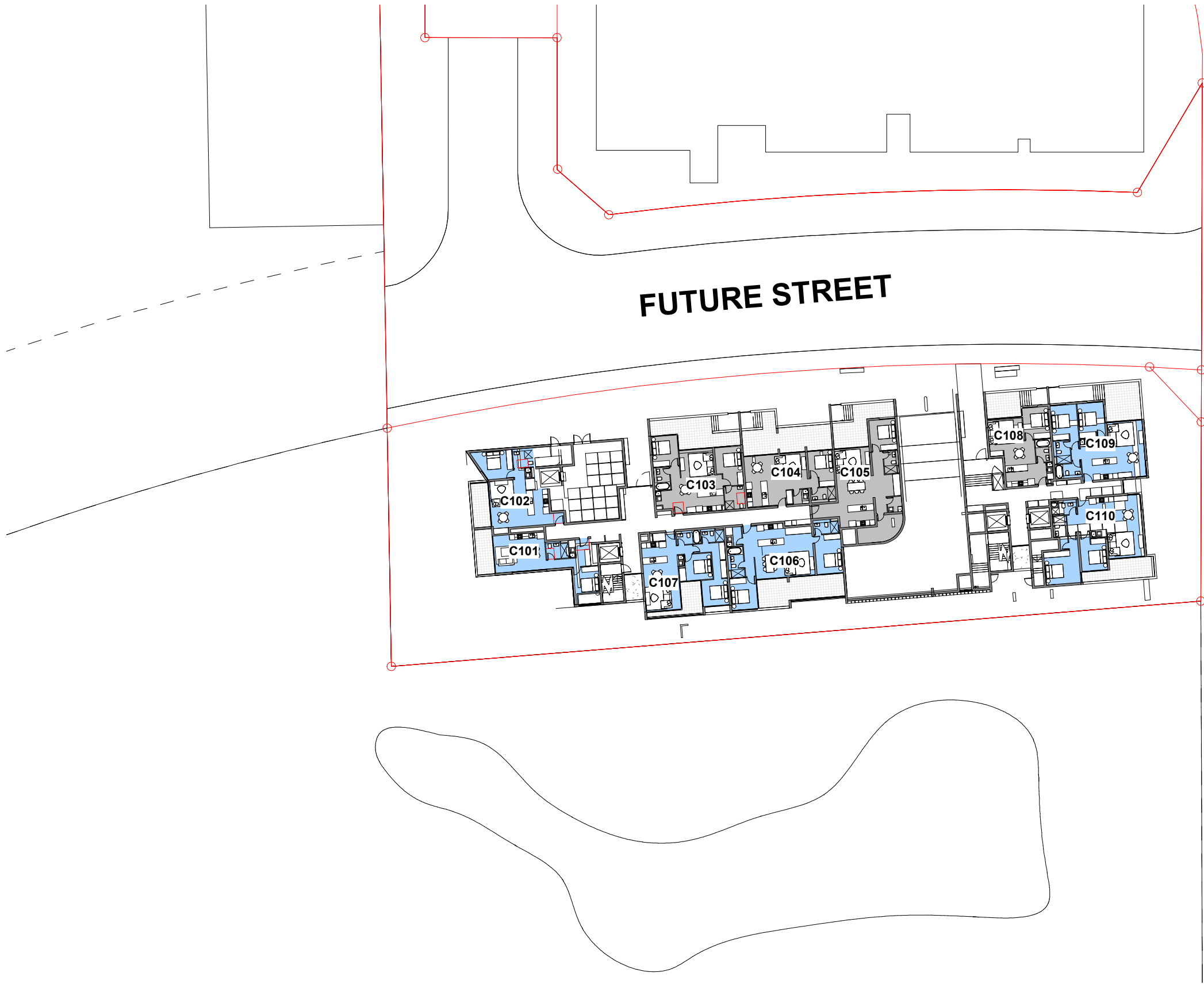
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LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked FS drawing
drawn JN issue
project no 20 117 drawing no





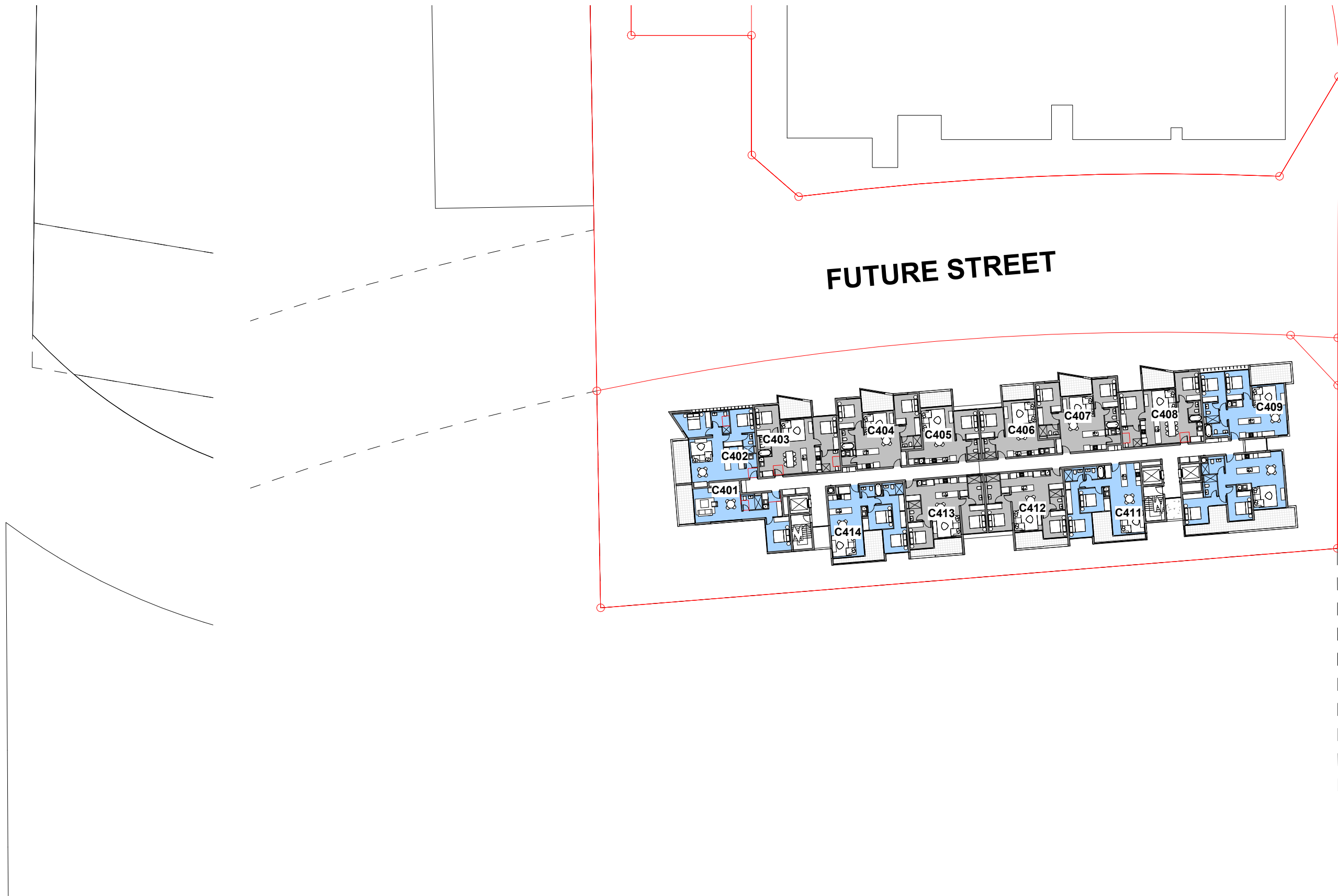
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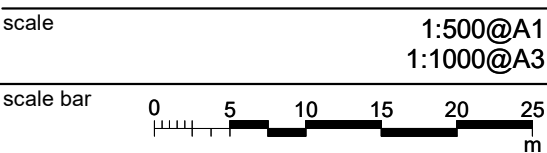
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client	CROATIA 88 PTY LTD	

project	RESIDENTIAL APARTMENT DEVELOPMENT LOT 101 DP 1267563 SOMME AVENUE EDMONDSON PARK
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drawn	JN	issue	B
project no	20 117	drawing no	





BERNERA ROAD

① LEVEL 5 (BLD C) - NATURAL CROSS VENTILATION
1 : 500

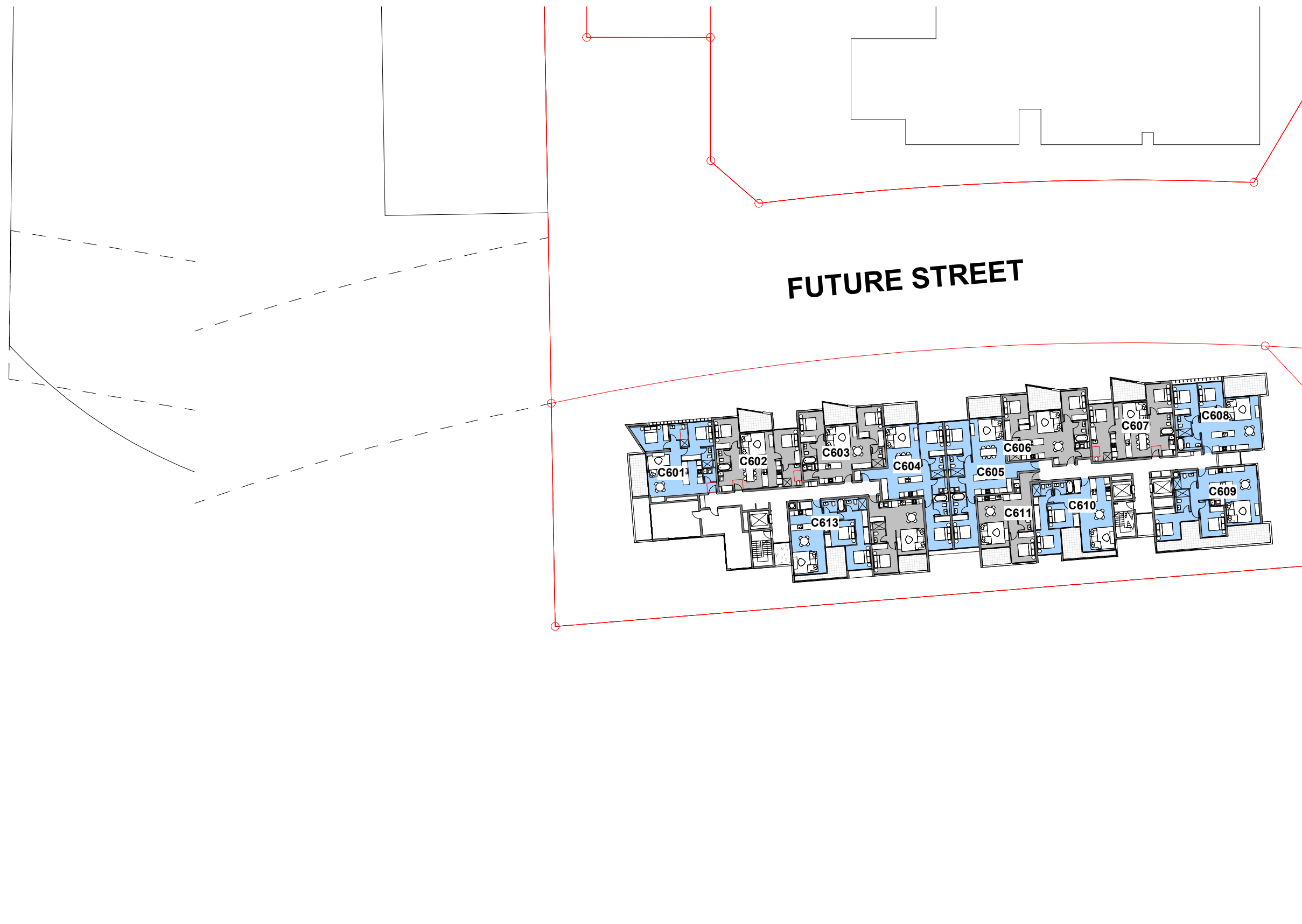


③ LEVEL 7 - SOUTH (BLD C) - NATURAL CROSS VENTILATION
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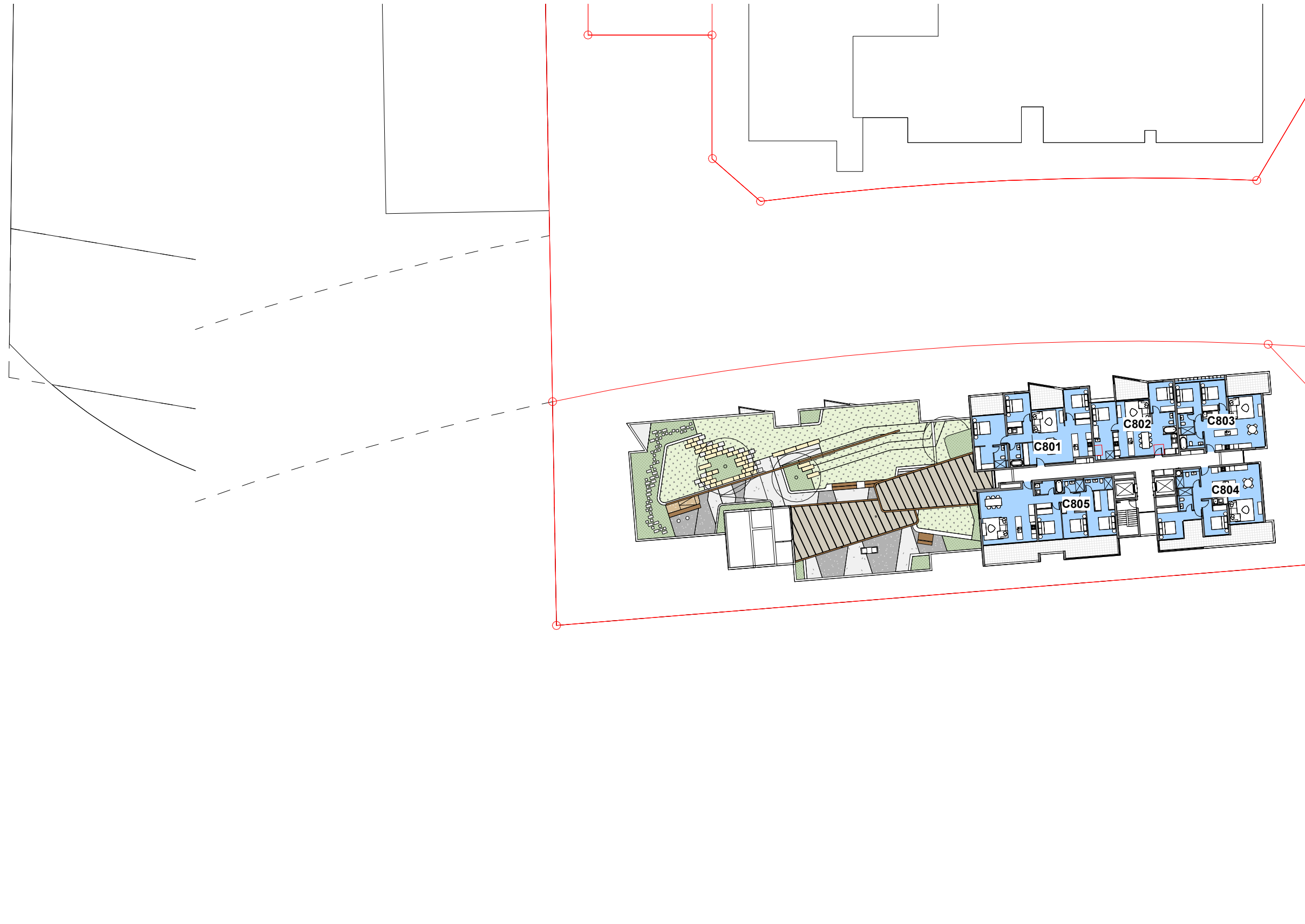
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BERNERA ROAD

② LEVEL 6 (BLD C) - NATURAL CROSS VENTILATION
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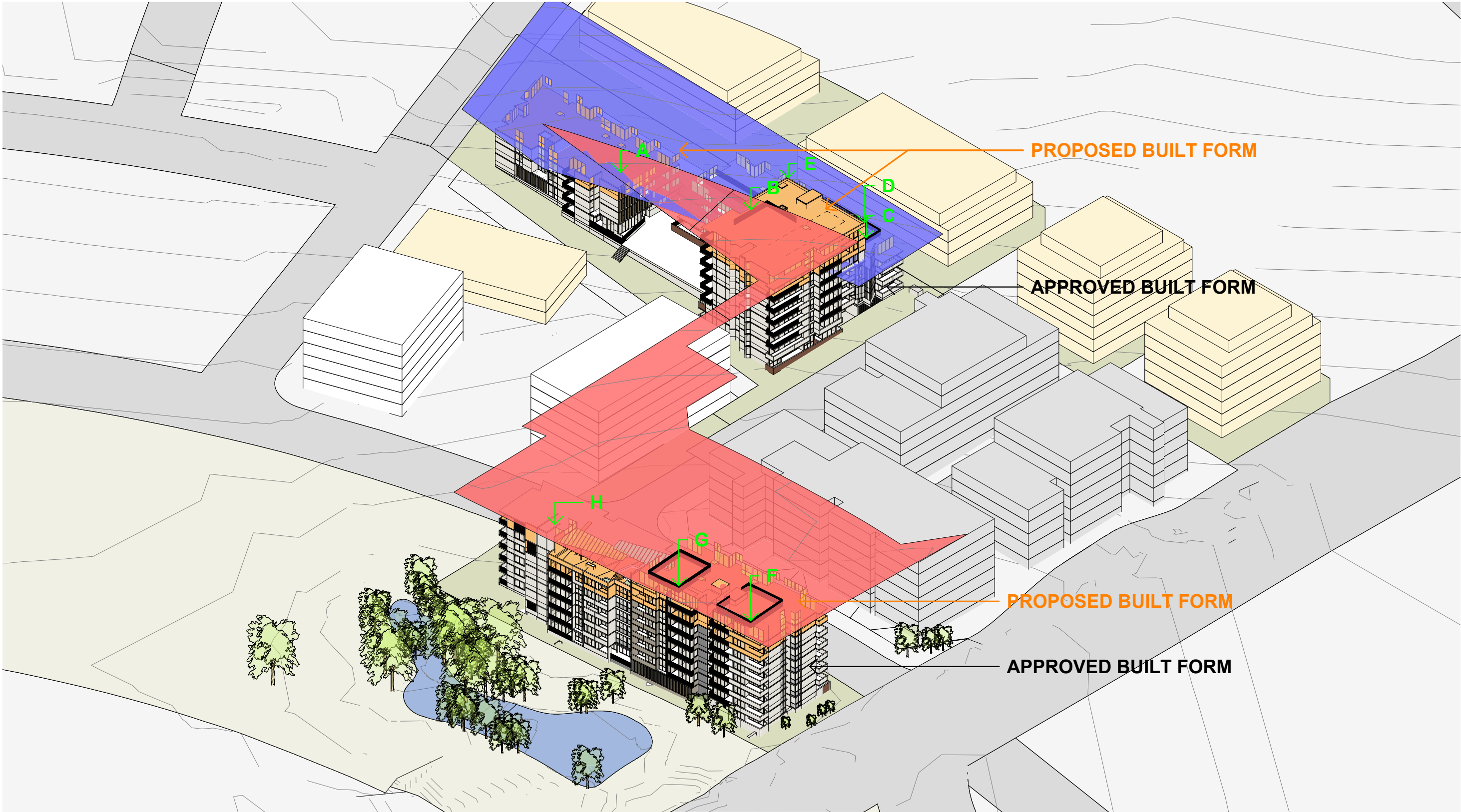
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scale
1:500@A1
1:1000@A3
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project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
checked FS
drawing
drawn JN
issue
project no 20 117
drawing no
DA 8012



^ MAXIMUM HEIGHT OF BUILDING (SOUTH EAST VIEW)



^ MAXIMUM HEIGHT OF BUILDING (NORTH WEST VIEW)

LEGEND:

15.6M HEIGHT FROM NATURAL GROUND LINE - SEPP (HOUSING) 2021 - 130% LEP

27.3M HEIGHT FROM NATURAL GROUND LINE - SEPP (HOUSING) 2021 - 130% LEP

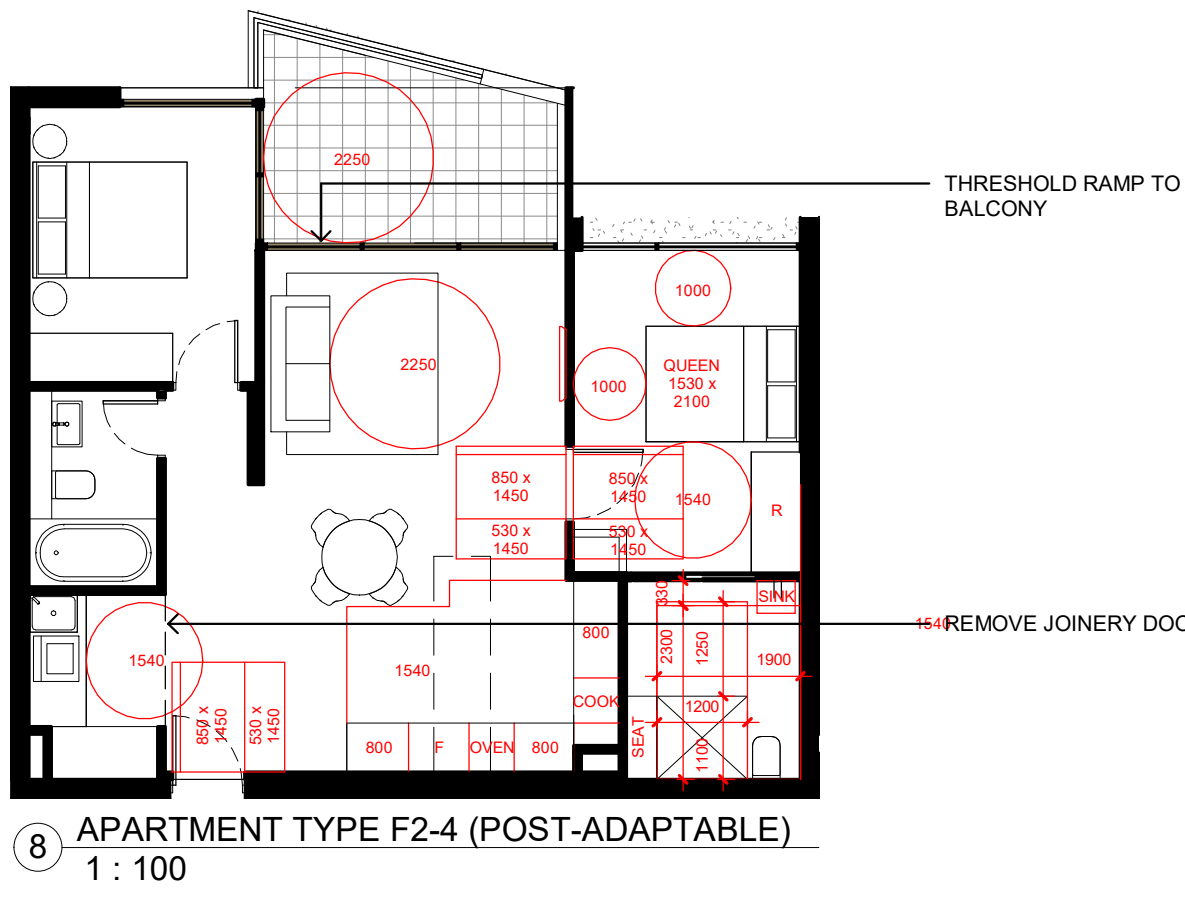
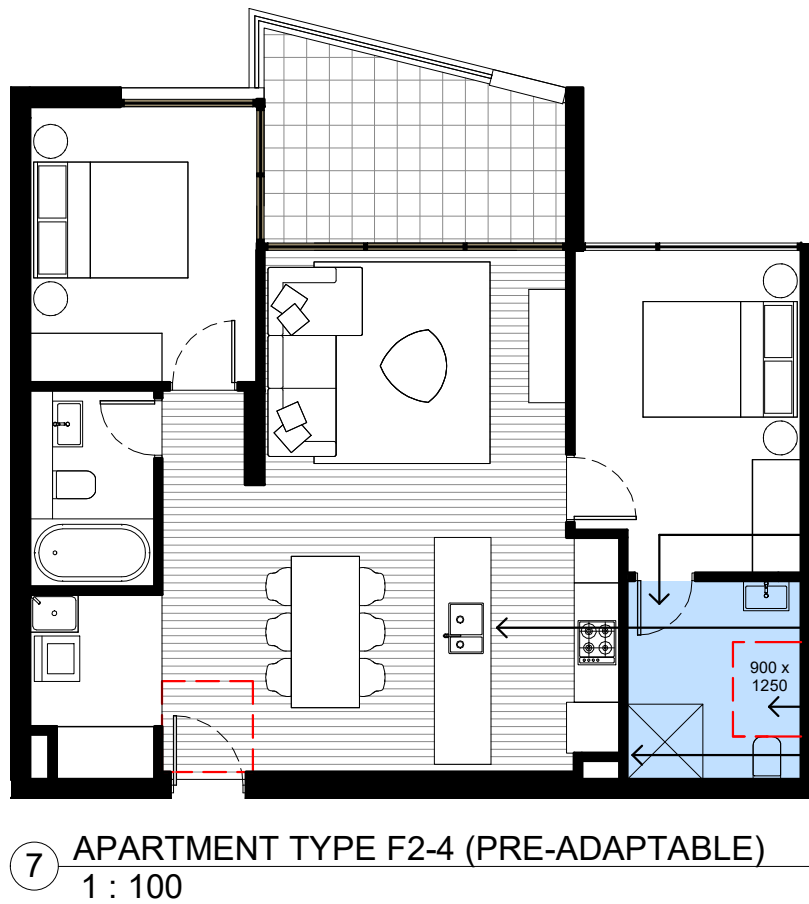
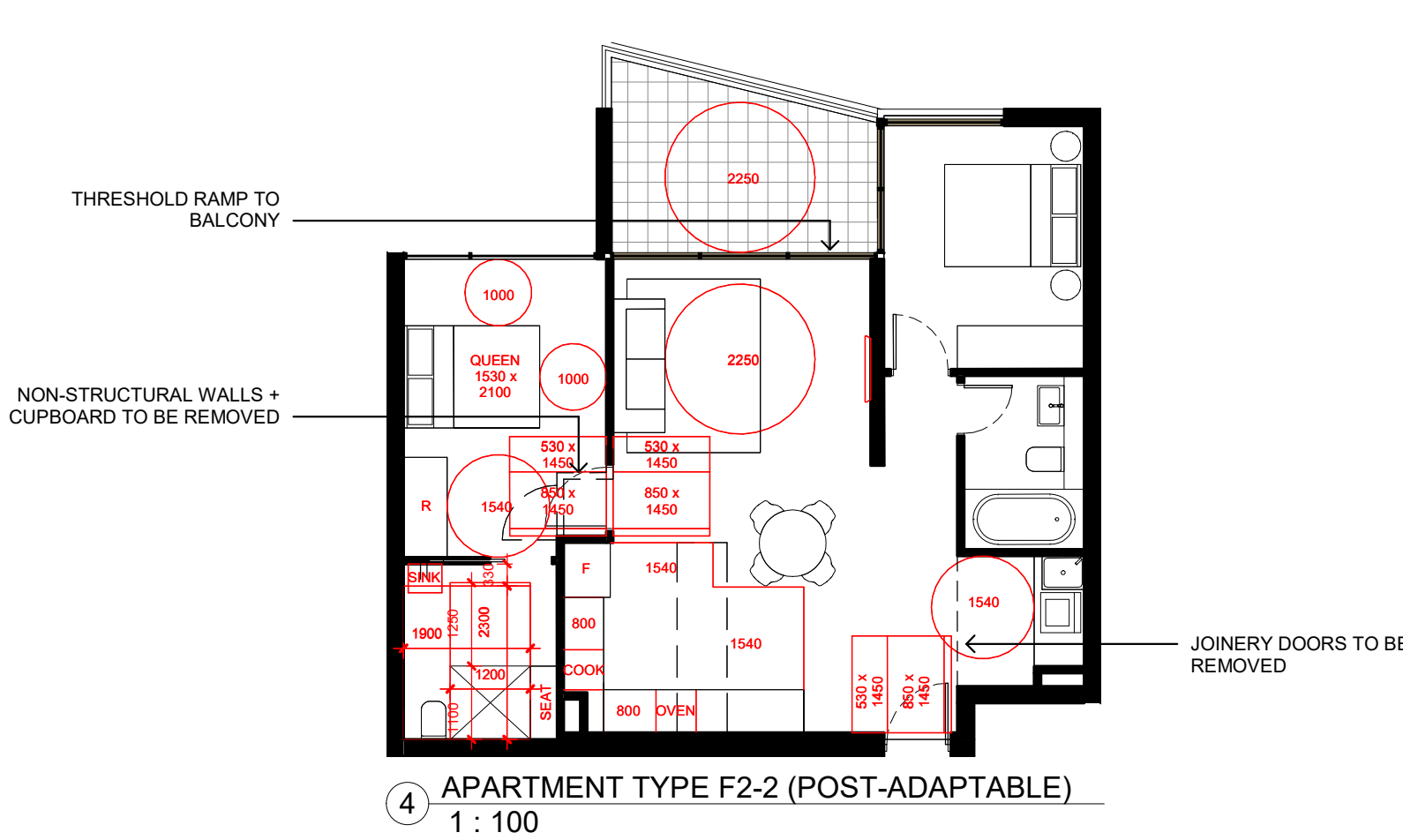
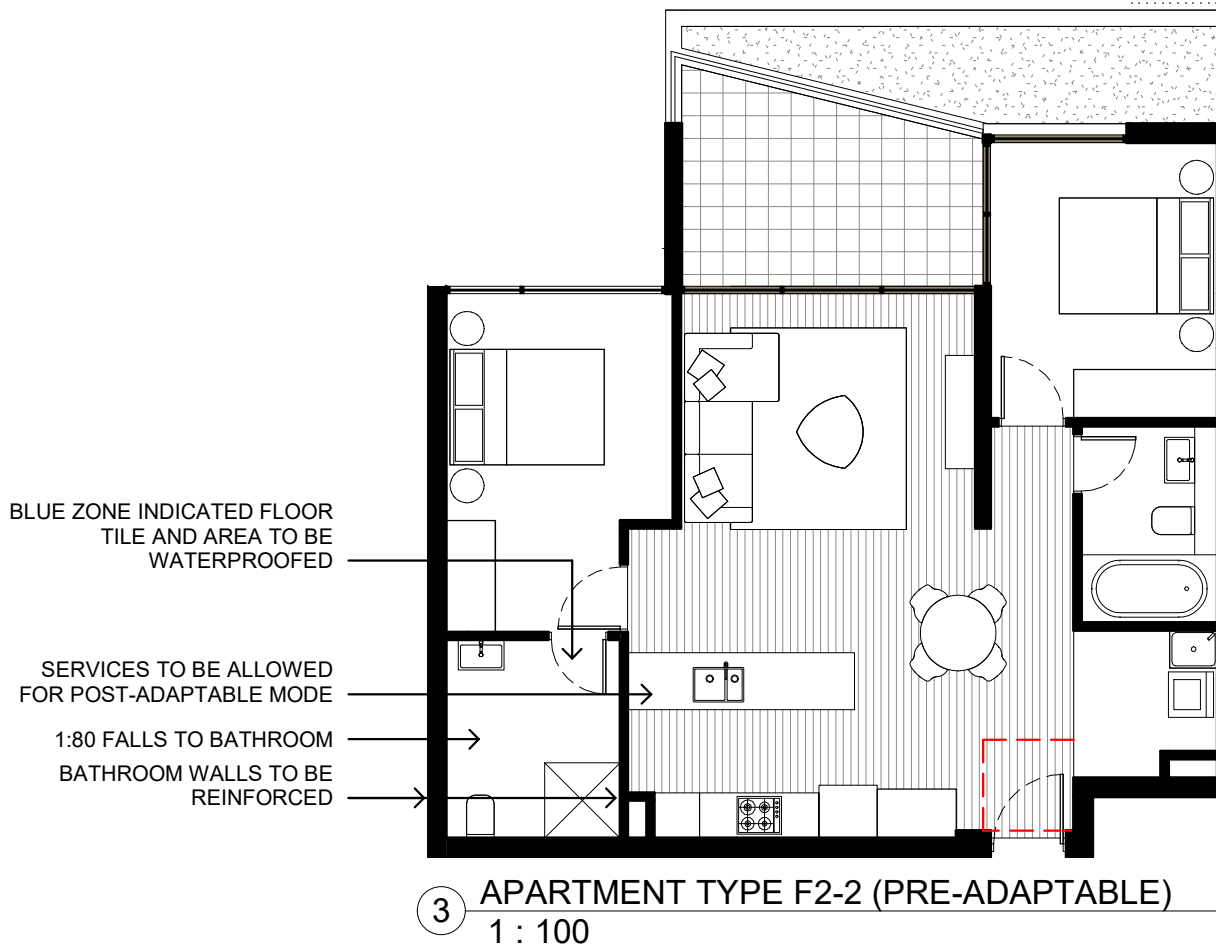
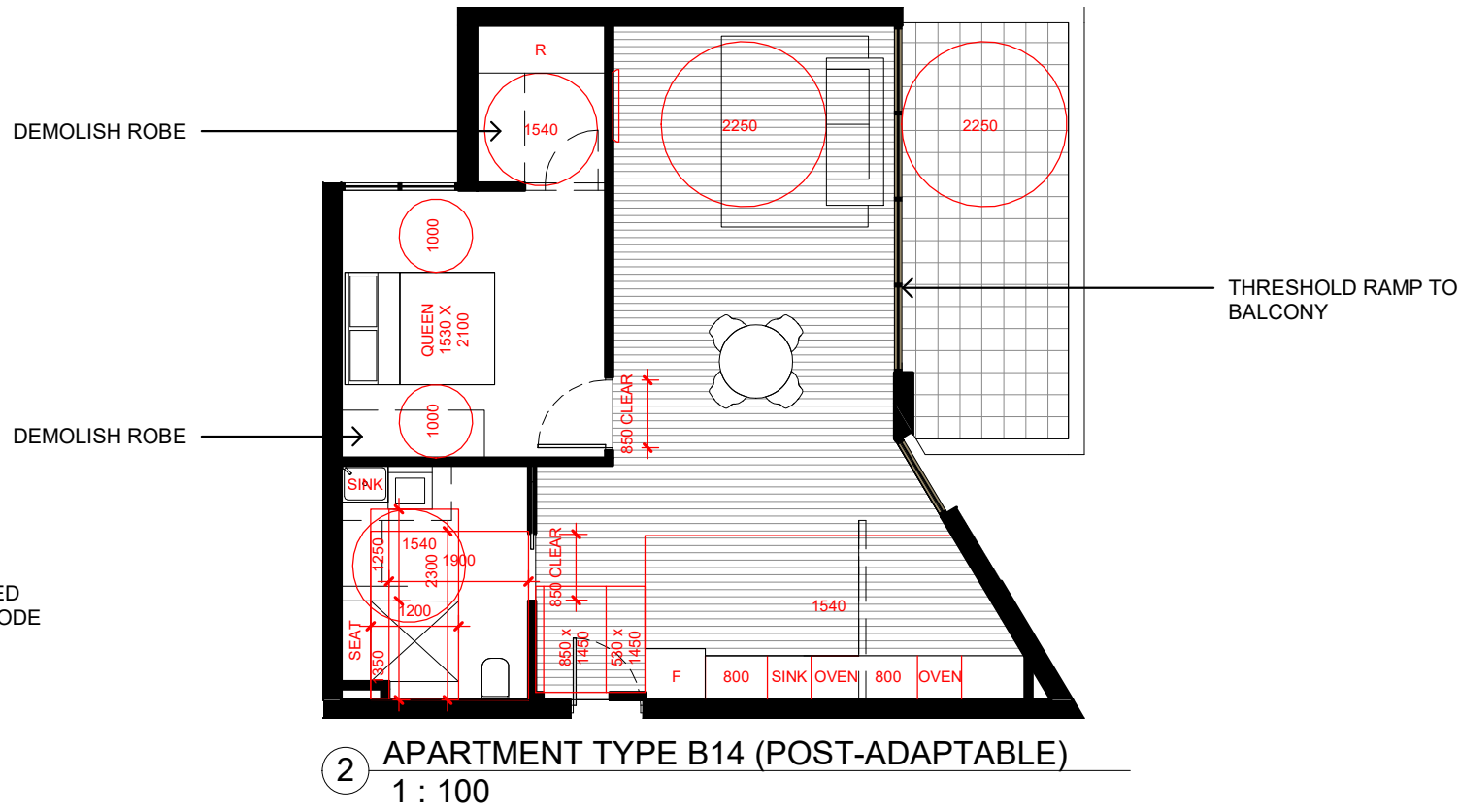
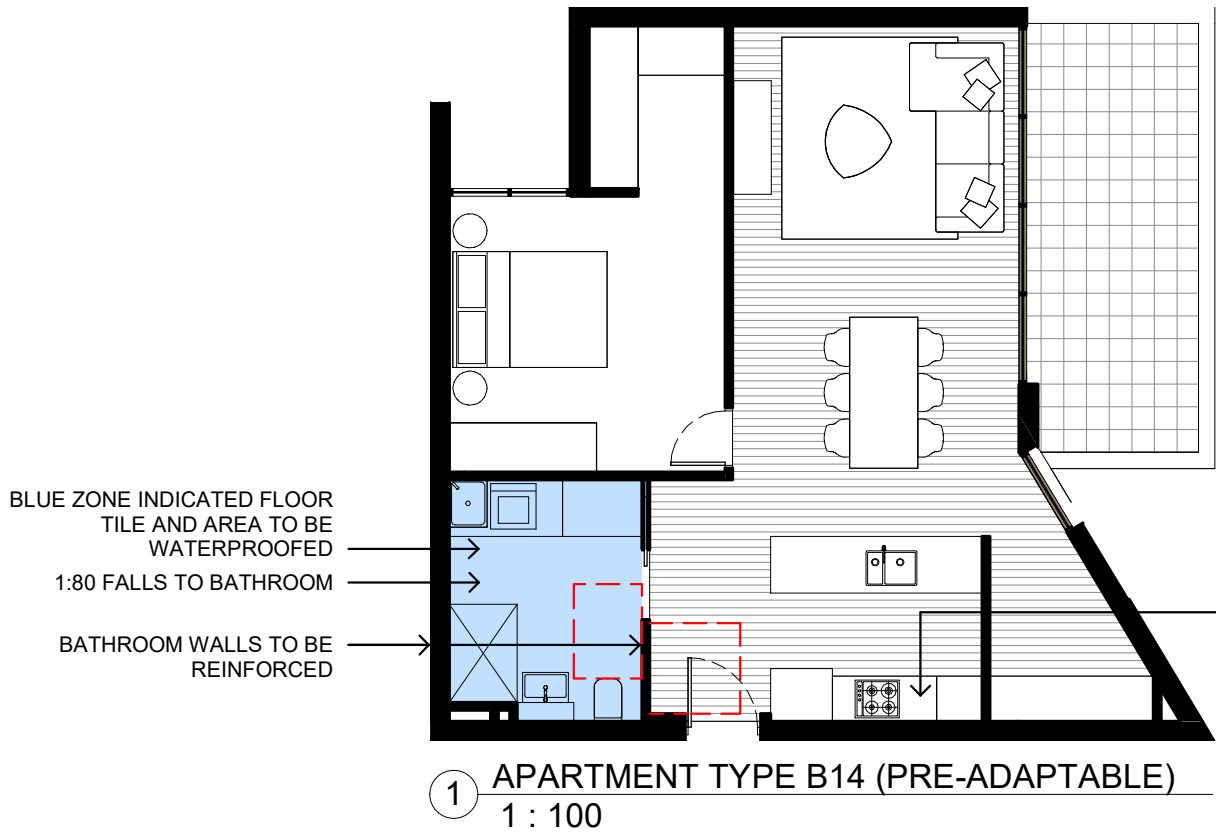
APPROVED BUILDING ELEMENT HEIGHT SCHEDULE

APPROVED ITEM	APPROVED ELEMENT	APPROVED RL AT GROUND	APPROVED RL AT TOP	APPROVED HEIGHT OF ELEMENT (m)	APPROVED HEIGHT ABOVE MAXIMUM HOB (m)
A	PLANT SCREEN	53.24	65.64	12.40	+0.40
B	PLANT SCREEN	52.97	65.64	12.67	+0.67
C	PLANT SCREEN	52.58	65.64	13.06	+1.06
D	PARAPET	52.30	70.94	18.64	+6.64
E	PARAPET	52.90	70.94	18.04	+6.04
F	PLANT SCREEN	49.56	71.20	21.64	+0.64
G	PLANT SCREEN	49.42	71.20	21.78	+0.78
H	LIFT OVERRUN	49.49	70.60	21.11	+0.11

PROPOSED BUILDING ELEMENT HEIGHT SCHEDULE

ITEM	ELEMENT	PROPOSED RL AT GROUND	PROPOSED RL AT TOP	PROPOSED HEIGHT OF ELEMENT (m)	PROPOSED HEIGHT ABOVE MAX HOB + 130% (m)
A	PLANT SCREEN	53.24	68.74	15.50	-0.10
B	PLANT SCREEN	52.97	71.84	18.87	+3.27
C	PLANT SCREEN	52.58	68.74	16.16	+0.56
D	PARAPET	52.30	77.14	24.84	+9.24
E	PARAPET	52.90	77.14	24.24	+8.64
F	PLANT SCREEN	49.56	77.40	27.84	+0.54
G	PLANT SCREEN	49.42	77.40	27.98	+0.98
H	LIFT OVERRUN	49.49	73.70	24.21	+3.09

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1. LIVABLE UNITS

IDENTIFIED ON GENERAL ARRANGEMENT PLANS AS 'LIVE'

- GENERAL**
 - ACHIEVE 20% OF UNITS WITH SILVER LEVEL UNIVERSAL DESIGN FEATURES IN ACCORDANCE WITH THE APARTMENT DESIGN CLAUSE 40-1
 - LIVABLE UNITS TO ACHIEVE COMPLIANCE WITH THE LIVABLE HOUSING DESIGN GUIDE

- ENTRY**
 - PROVIDE 'STEP FREE' DWELLING ENTRY
 - PROVIDE 1200 X 1200MM CIRCULATION SPACE AT ENTRY DOOR INSIDE UNIT
 - PROVIDE 820MM MIN CLEAR OPENING WIDTH AT ENTRY DOOR OF UNIT
 - PROVIDE LATCH SIDE CLEARANCES AT ENTRY DOOR TO THE OUTSIDE OF THE UNIT IN ACCORDANCE WITH AS 1428.1

- INTERIOR**
 - PROVIDE 820MM CLEAR OPENING WIDTH TO ALL INTERNAL DOORS TO UNIT
 - PROVIDE 1000MM CLEAR WIDTH TO ALL CORRIDORS
 - LEVEL THRESHOLDS TO BE PROVIDED (5MM MAX STEP)

- WET AREAS**
 - PRIOR TO SHEETING WALLS, CONTRACTOR TO PROVIDE EVIDENCE OF WALL CONSTRUCTION TO SATISFY ASSESSORS REQUIREMENTS IN ACCORDANCE WITH LIVABLE HOUSING DESIGN GUIDE
 - PROVIDE 900 W X 1250 D CLEAR CIRCULATION IN FRONT OF TOILET PAN TO LIVABLE BATHROOM
 - LOCATE TOILET PAN IN CORNER OF LIVABLE BATHROOM TO ENABLE INSTALLATION OF GRABRAILS
 - PROVIDE HOBLESS SHOWER TO LIVABLE BATHROOM
 - LOCATE SHOWER IN CORNER OF LIVABLE BATHROOM TO ENABLE INSTALLATION OF GRABRAILS
 - WALLS REQUIRED TO BE REINFORCED TO WITHSTAND 1100N MIN IN ALL DIRECTIONS.
 - 25MM THICK NOGGINGS (LHC FIG 6A) OR 12MM THICK SHEETING (LHC FIG 6B) TO BE PROVIDED TO WALLS OF WC
 - 25MM THICK NOGGINGS (LHC FIG 7A) OR 12MM THICK SHEETING (LHC FIG 7B) TO BE PROVIDED TO WALLS SURROUNDING BATH
 - 25MM THICK NOGGINGS (LHC FIG 8A) OR 12MM THICK SHEETING (LHC FIG 8B) TO BE PROVIDED TO WALLS SURROUNDING SHOWER
 - BATHROOM TO HAVE SLIP RESISTANT AND HOBLESS SHOWER RECESS

2. ADAPTABLE UNITS (CLASS B - FIRST PRIORITY DESIRABLE - AS4299-1995)

IDENTIFIED ON GENERAL ARRANGEMENT PLANS AS 'ADAPT'

- GENERAL**
 - ADAPTABLE UNITS TO ACHIEVE COMPLIANCE WITH AS4299, AS1428.1-5
 - EXTERIOR DOORS & WINDOWS TO HAVE THE CAPACITY FOR FITTING OF SECURITY SCREENS IN ACCORDANCE WITH AS4299
 - ALLOW FOR ALL DOOR HANDLES & RELATED HARDWARE TO BE OPERATED BY ONE HAND.
 - HANDLES & HARDWARE TO BE INSTALLED IN ACCORDANCE WITH AS4299
 - EXTERNAL PAVED SURFACES TO BE SLIP RESISTANT IN ACCORDANCE WITH AS3681.1
 - PROVIDE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL FROM THE STREET FRONTAGE, VEHICLE PARKING, LETTERBOXES AND GARBAGE AREA TO COMPLY WITH AS 1428.1.

- ENTRY**
 - PROVIDE 850MM MIN CLEAR OPENING TO ENTRY DOOR OF UNIT IN PRE + POST ADAPTABLE MODE
 - PROVIDE LATCH SIDE CLEARANCES AT ENTRY DOOR TO THE OUTSIDE OF THE UNIT IN ACCORDANCE WITH AS 1428.1 IN PRE + POST ADAPTABLE MODE
 - ALLOW FOR 'STEP FREE' DWELLING ENTRY IN ACCORDANCE WITH AS 1428.1 IN POST ADAPTABLE MODE
 - DOOR HANDLES AND HARDWARE TO COMPLY WITH AS1428.1
 - MIN ILLUMINATION LEVEL OF 300 LUX TO BE ACHIEVED

- INTERNAL**
 - MODE
 - PROVIDE 1000MM MIN CLEAR WIDTH TO ALL CORRIDORS IN PRE + POST ADAPTABLE MODE
 - ALLOW FOR DOOR APPROACH CLEARANCES TO ADAPTABLE BEDROOM AND BATHROOM AS WELL AS ENTRY DOOR TO INSIDE OF UNIT IN POST ADAPTABLE MODE AS PER AS 1428.1
 - INTERNAL DOORS IN POST ADAPTABLE MODE ARE TO HAVE A MINIMUM CLEAR OPENING 820MM
 - LIGHT SWITCHED TO BE INSTALLED IN LINE WITH DOOR HANDLES AND IN ACCORDANCE WITH AS4299
 - LOCATION AND HEIGHT OF GPO'S IN ACCORDANCE WITH AS4299
 - ALLOW FOR LINEN STORAGE TO HAVE ADJUSTABLE SHELVING WITH A MIN. WIDTH OF 600MM

- LIVING**
 - ALLOW FOR 2250MM MIN CLEAR CIRCULATION SPACE TO LIVING ROOM IN POST ADAPTABLE MODE
 - ALLOW FOR 600MM WIDE LINEN CUPBOARD IN POST ADAPTABLE MODE WITH ADJUSTABLE SHELVING
 - PROVIDE A MIN. OF 4 X DOUBLE GPO'S TO LIVING ROOM. HEIGHT TO BE IN ACCORDANCE WITH AS4299
 - PROVIDE TELEPHONE OUTLET ADJACENT TO GPO IN LIVING ROOM
 - PROVIDE 2 X TV ANTENNA OUTLETS ADJACENT TO GPO POSITIONED SO THAT VIEWING FROM DINING & KITCHEN AREAS CAN BE ACHIEVED
 - MIN ILLUMINATION LEVEL OF 300 LUX TO BE ACHIEVED

2. ADAPTABLE UNITS (CONT'D)

- BEDROOM**
 - ALLOW 1540 X 2070MM CLEAR CIRCULATION SPACE AT THE END OF A QUEEN SIZE BED TO ADAPTABLE BEDROOM IN DIRECTION OF TRAVEL IN POST ADAPTABLE MODE
 - ALLOW FOR 1000MM CLEAR WIDTH ON EACH SIDE OF BED IN POST ADAPTABLE MODE TO ADAPTABLE BEDROOM
 - ALLOW FOR 850MM CLEAR DOOR TO ADAPTABLE BEDROOM IN POST ADAPTABLE MODE
 - ALLOW FOR QUEEN SIZED BED TO ADAPTABLE BEDROOM 1650 X 2100MM MIN IN POST ADAPTABLE MODE
 - PROVIDE 2 X DOUBLE GPO'S ON WALL WHERE BEDHEAD IS TO BE LOCATED.
 - PROVIDE A TELEPHONE OUTLET NEXT TO BED & ADJACENT DOUBLE GPO THAT IS CLOSEST TO THE DOOR.
 - PROVIDE A TV ANTENNA POINT & DOUBLE GPO ON OPPOSITE WALL TO BEDHEAD
 - PROVIDE A TWO-WAY LIGHT SWITCH WITH ONE BEING LOCATED ABOVE THE BED
 - MIN ILLUMINATION LEVEL OF 300 LUX TO BE ACHIEVED

- KITCHEN**
 - ALLOW FOR 1550MM CIRCULATION SPACE BETWEEN KITCHEN BENCHES IN POST ADAPTABLE MODE
 - ALLOW FOR 2.7M MIN WIDTH TO KITCHEN IN POST ADAPTABLE MODE
 - ALLOW FOR A HEIGHT ADJUSTABLE (750-850MM HIGH) & 800MM WIDE MIN. WORK SURFACE IN POST ADAPTABLE MODE IN ACCORDANCE WITH AS4299. WORK SURFACE TO BE LOCATED ADJACENT REFRIGERATOR, OVEN & COOKTOP. ALSO ALLOW FOR THE REMOVAL OF CABINETS
 - ALLOW FOR WALL OVEN IN POST ADAPTABLE MODE
 - ALLOW FOR CAPPED OFF SERVICES IF THE LOCATION OF FIXTURES IS DIFFERENT IN THE PRE + POST ADAPTABLE MODES
 - ALLOW FOR ADJUSTABLE SINK HEIGHT BETWEEN 750MM - 850MM IN POST ADAPTABLE MODE. ALSO ALLOW FOR THE REMOVAL OF CABINETS UNDER THE SINK.
 - ALLOW FOR MIXER TAPSET WITHIN 300MM FROM THE FRONT OF SINK IN POST ADAPTABLE MODE. TAP SETS SHOULD ALSO HAVE EITHER CAPSTAN OR LEVER HANDLES
 - LOCATE SINK WITHIN 150MM OF FRONT OF BENCH IN POST ADAPTABLE MODE
 - DEPTH OF SINK TO BE 150MM MAX.
 - PROVIDE GPO IN ACCORDANCE WITH AS1428.1 + AT LEAST ONE GPO WITHIN 300MM FROM THE FRONT OF BENCH IN POST ADAPTABLE MODE
 - INSTALL A THERMOSTATIC MIXING VALVE IN ACCORDANCE WITH AS4299
 - COOKTOPS TO BE INSTALLED WITH RAISED CROSS BARS & WITH ISOLATING SWITCHES OR GAS STOP VALVES IN ACCORDANCE WITH AS4299
 - KITCHEN AREA TO HAVE A MIN ILLUMINATION LEVEL OF 300 LUX WITH A MIN. OF 550 LUX PROVIDED OVER WORK SURFACES IN ACCORDANCE WITH AS4299
 - PROVIDE D-PULL HANDLES LOCATED AT THE TOP OF BELOW BENCH CUPBOARDS AND AT THE BOTTOM OF OVERHEAD CUPBOARDS IN ACCORDANCE WITH AS4299
 - SLIP RESISTANT FLOORING TO BE PROVIDED IN ACCORDANCE WITH AS4299
 - PROVIDE AT LEAST 1 X GPO TO BE REACHED WITHIN 300MM FROM THE FRONT OF A WORK SURFACE.
 - LOCATE GPO FOR REFRIGERATOR SO THAT IT IS EASILY REACHABLE IN ITS OPERATING POSITION.

- WET AREAS**
 - ALLOW FOR A HOBLESS SHOWER RECESS WITH CLEARANCES IN ACCORDANCE WITH AS1428.1 IN POST ADAPTABLE MODE
 - ALLOW PROVISION FOR GRABRAILS IN SHOWER RECESS & AROUND TOILET PAN TO BE INSTALLED IF REQUIRED IN ACCORDANCE WITH AS1428.1 IN POST ADAPTABLE MODE
 - ALLOW FOR SINK WITH CLEARANCE IN ACCORDANCE WITH AS1428.1 IN POST ADAPTABLE MODE
 - ALLOW FOR TOILET PAN WITH CLEARANCES IN ACCORDANCE WITH AS1428.1 AND LOCATE IN CORNER OF BATHROOM FOR THE INSTALLATION OF GRABRAILS IN POST ADAPTABLE MODE
 - INSTALL SHOWER HEAD, TAPS & RECESSED SOAP HOLDER IN ACCORDANCE WITH AS1428.1 + AS4299. ENSURE WALL OUTLET FOR SHOWER HEAD INCLUDES A BACK FLOW PREVENTION DEVICE IN THE PRE ADAPTATION STAGE
 - ALLOW FOR DOUBLE GPO ADJACENT TO MIRROR IN POST ADAPTABLE MODE
 - PROVIDE CAPPED-OFF SERVICES TO WET AREAS IF THE LOCATION OF SERVICES IS DIFFERENT IN PRE + POST ADAPTABLE MODES (REFER TO CONCRETE SETOUT DRAWINGS). THESE AREAS ARE TO HAVE TILING DONE AT THE PRE ADAPTATION STAGE.
 - SLIP RESISTANT FLOOR SURFACES TO BE PROVIDED IN ACCORDANCE WITH AS3681.1
 - ALL WATERPROOFING TO BATHROOM TO COMPLY WITH AS3740
 - ALLOW FOR TAP SETS IN BATHROOM & LAUNDRY TO HAVE EITHER CAPSTAN OR LEVER HANDLES & A THERMOSTATIC MIXING VALVE TO BE INSTALLED.
 - ALLOW FOR A WALL CABINET WITH A LIGHT ABOVE AND A DOUBLE GPO ADJACENT THE MIRROR
 - BATHROOM & LAUNDRY TO HAVE A MIN ILLUMINATION LEVEL OF 300 LUX WITH A MIN. OF 550 LUX PROVIDED FOR TASK LIGHTING IN ACCORDANCE WITH AS4299
 - ALLOW FOR 1550MM CIRCULATION SPACE IN FRONT OF LAUNDRY APPLIANCES IN POST ADAPTABLE MODE
 - ALLOW FOR AN AUTOMATIC WASHING MACHINE & DRIER TO BE INSTALLED WITH AT LEAST 1 X DOUBLE GPO

- DOORS**
 - DOOR HANDLES ARE TO COMPLY WITH AS1428.1-2009
 - DOOR HARDWARE TO BE OPERABLE WITH ONE HAND

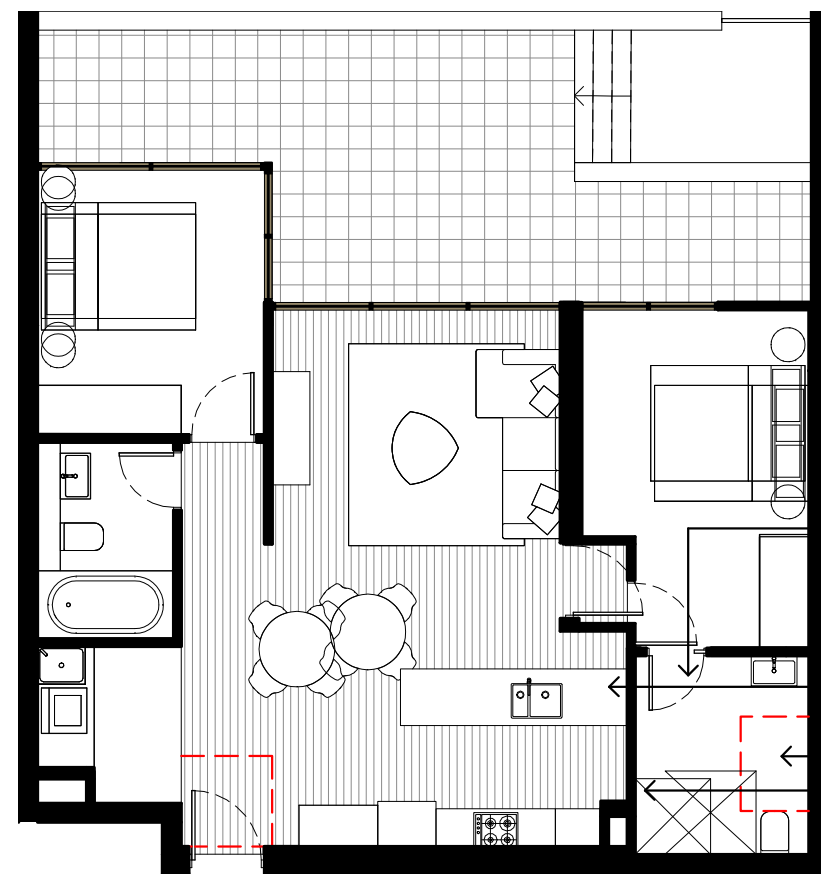
ALL ABOVE NOTES ARE EXTRACTED FROM RELEVANT DOCUMENTS. FOR FULL GUIDELINE AND REQUIREMENTS, PLEASE REFER TO AS1428.1/AS1428.2/AS4299/ LIVABLE HOUSING DESIGN GUIDELINES/LOCAL DCP.

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

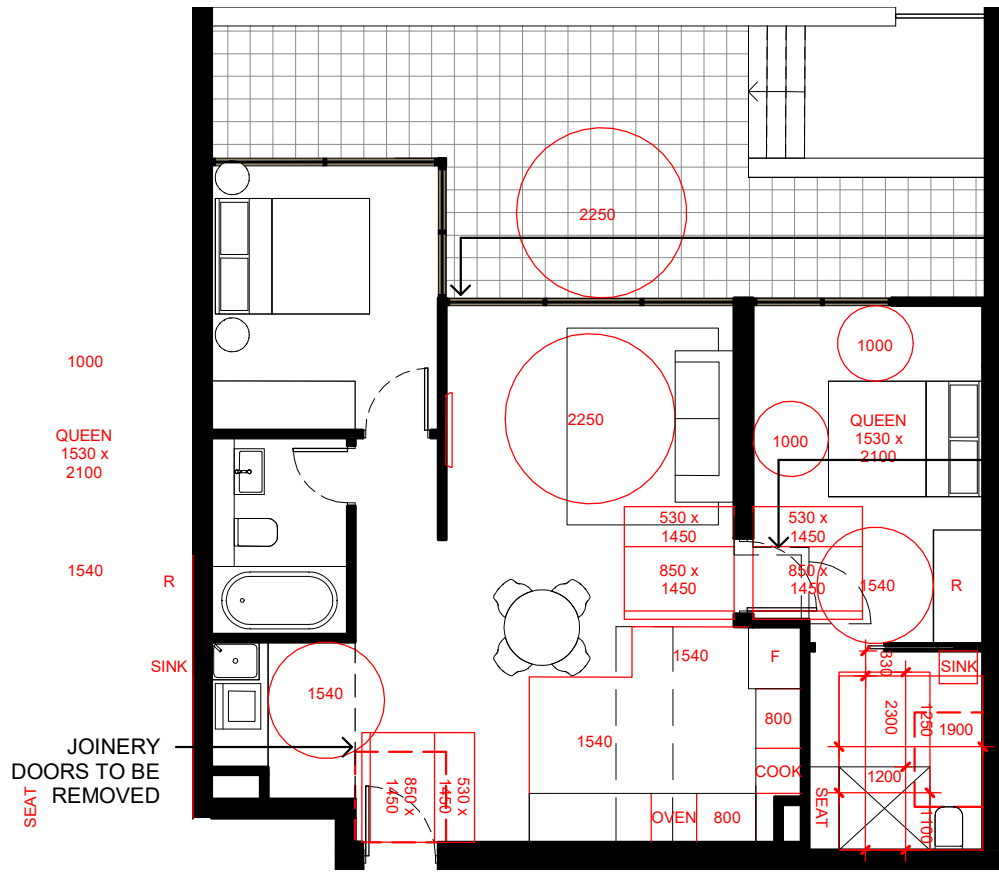
architect
stanisic architects
Level 10 257 Clarence Street, Sydney NSW 2000
T (61 2) 9358 2588
www.stanisic.com.au ABN 11002633481
NSW ARB Frank Stanisic 4480

client
CROATIA 88 PTY LTD

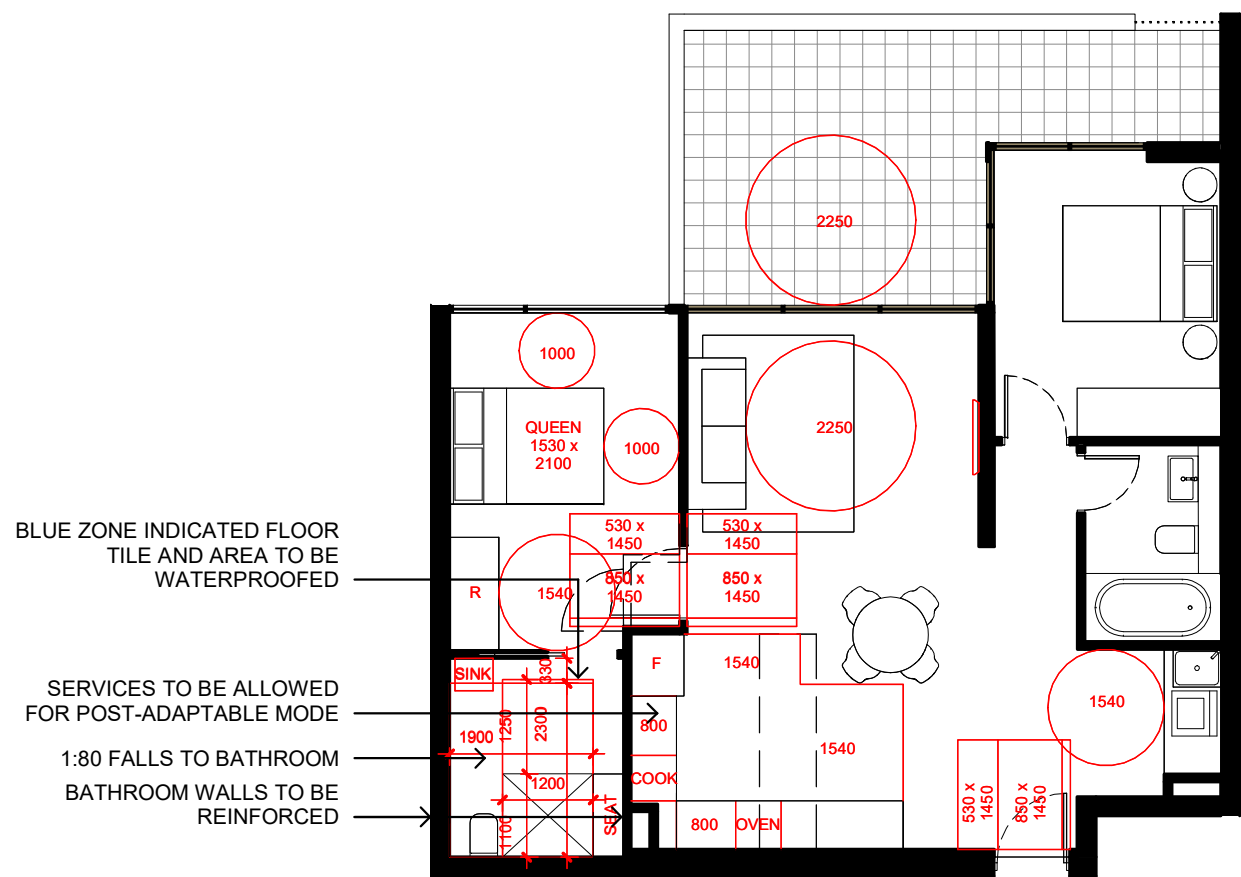
project	checked	drawing	scale	drawn	issue	project no	drawing no
RESIDENTIAL APARTMENT DEVELOPMENT LOT 101 DP 1267563 SOMME AVENUE EDMONDSON PARK	FS	ADAPTABLE + LIVABLE ACCOMMODATION DIAGRAMS (SHEET 1)	1:100@A1 1:200@A3	JN	B	20 117	DA 8014



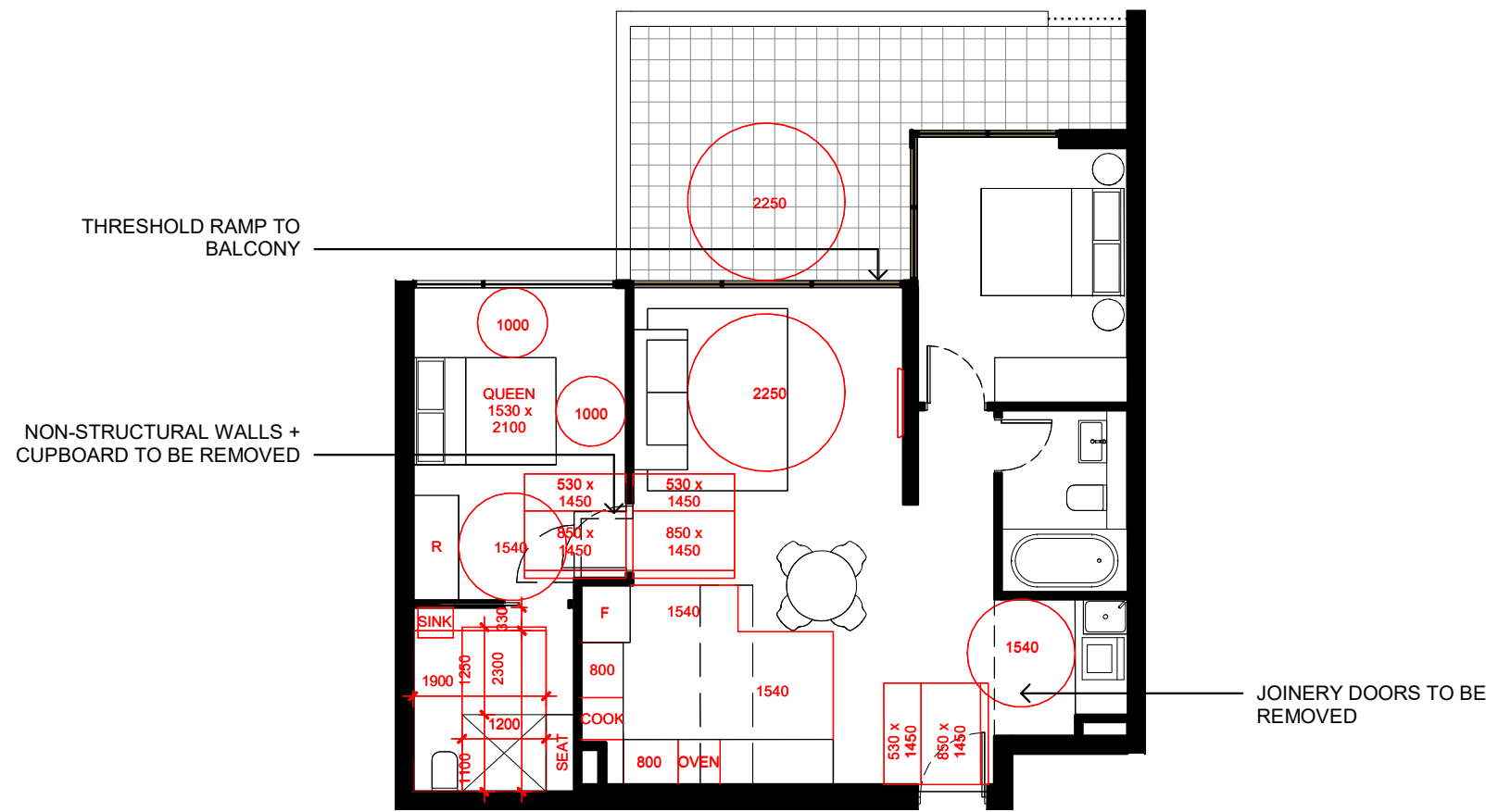
1 APARTMENT TYPE F1-3 PRE ADAPTABLE
1 : 100



2 APARTMENT TYPE F1-3 POST ADAPTABLE
1 : 100



3 APARTMENT TYPE F2-3 (PRE-ADAPTABLE)
1 : 100



4 APARTMENT TYPE F2-3 (POST-ADAPTABLE)
1 : 100

issue	amendment	date	legend
A	ISSUE FOR DEVELOPMENT APPLICATION	03.11.21	
B	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.

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CROATIA 88 PTY LTD

project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK

checked	FS	drawing	ADAPTABLE + LIVABLE ACCOMMODATION DIAGRAMS (SHEET 2)
drawn	JN	issue	B

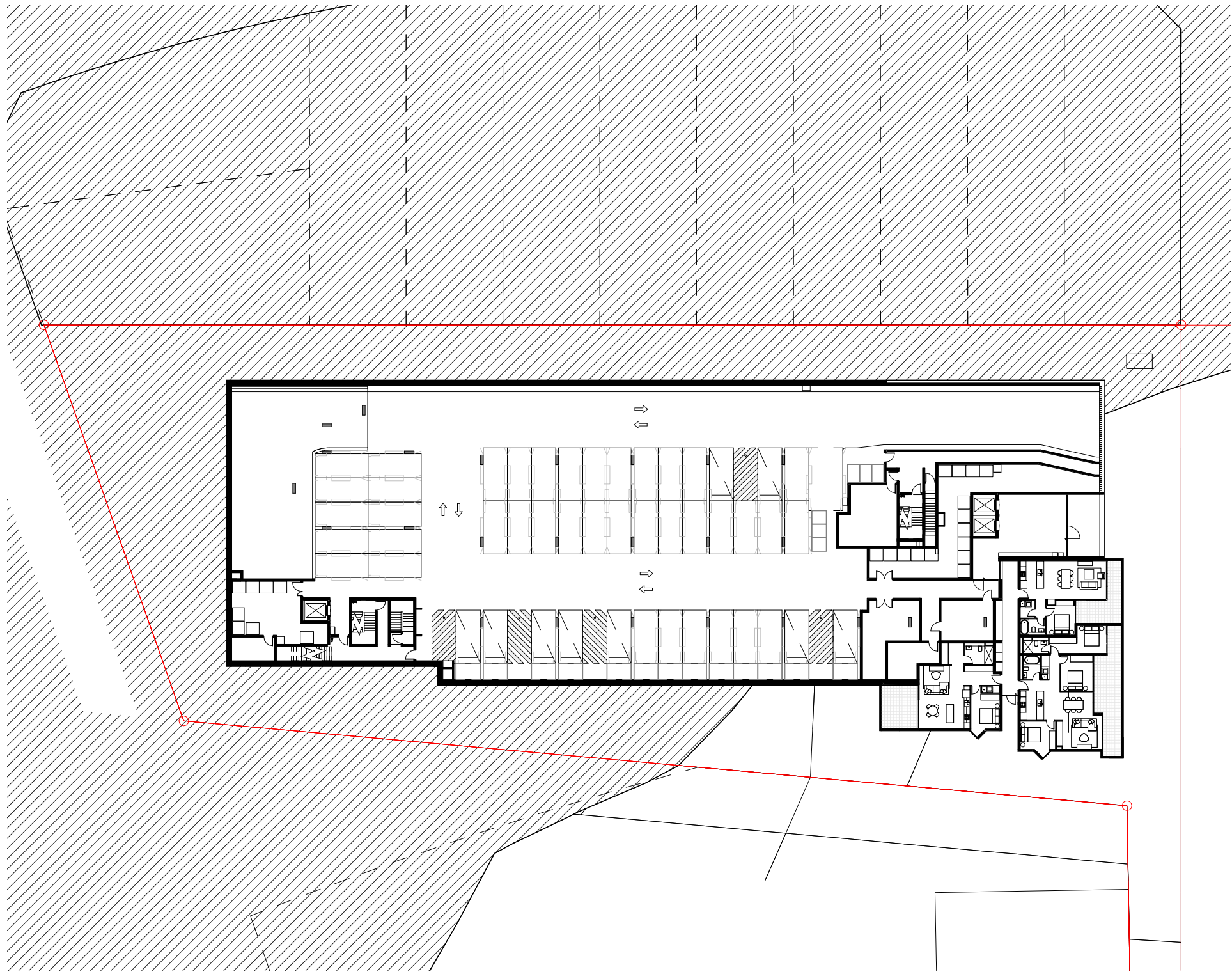
scale
1:100@A1
1:200@A3

scale bar
0 1 2 3 4 5
m

project no
20 117

drawing no

DA 8015



① LEVEL LG (B1) - NORTH
1 : 500



② LEVEL 1 (G) - NORTH
1 : 500



③ LEVEL 2 - NORTH
1 : 500



④ LEVEL 3 - NORTH
1 : 500



⑤ LEVEL 4 - NORTH
1 : 500

issue	amendment	date	legend
A	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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project
RESIDENTIAL APARTMENT DEVELOPMENT
LOT 101 DP 1267563 SOMME AVENUE
EDMONDSON PARK
drawing
AFFORDABLE HOUSING AREA DIAGRAM

checked
FS
JN
project no
20 117

issue
drawing no

A

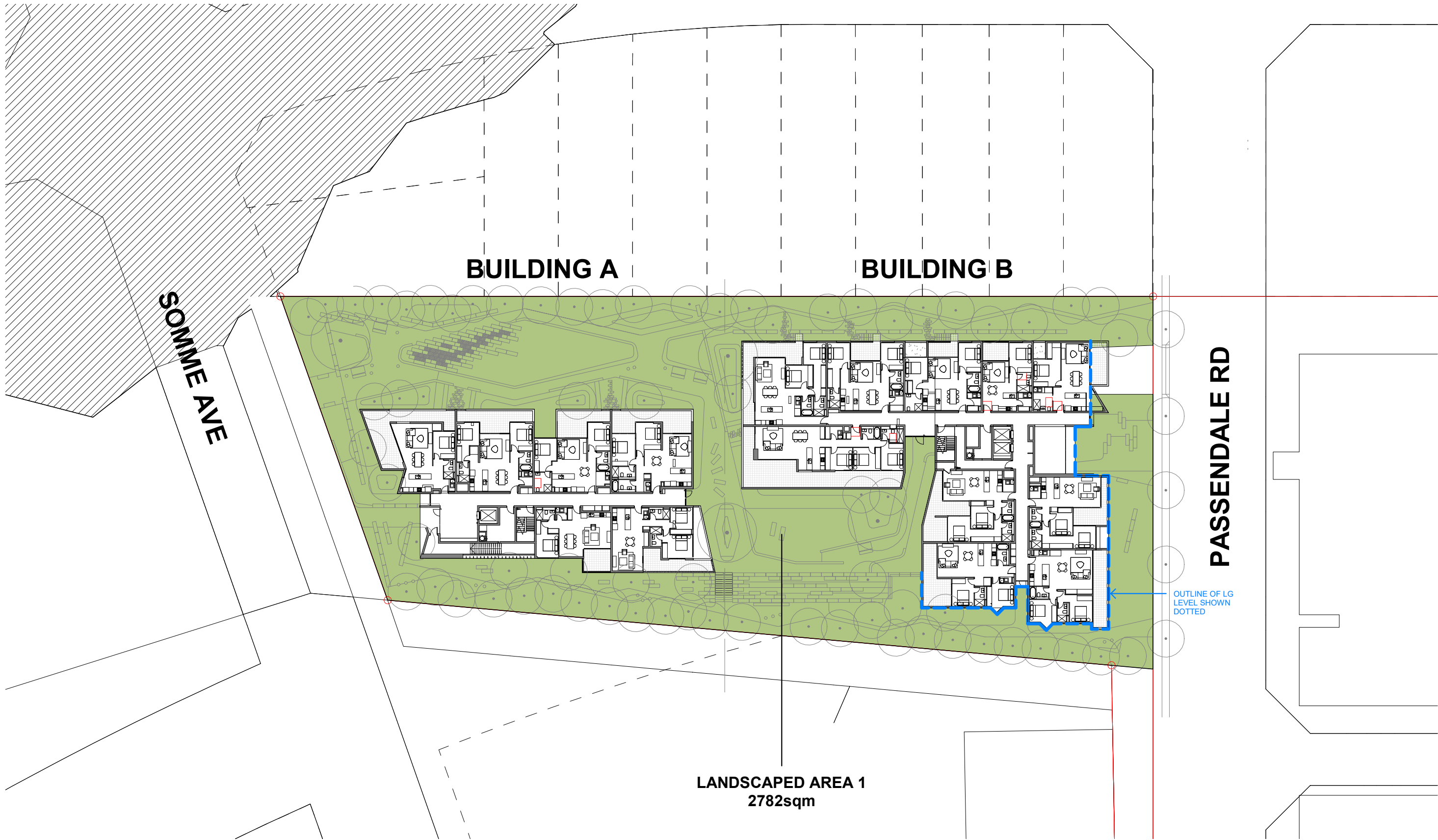
DA 8016

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1:400@A3
scale bar
0 2 4 6 8 10
m

1/03/2024 5:30:48 PM

do not scale from drawings.

the layout shown and the areas noted on this drawing are indicative only. layouts are to be read in conjunction with floor plans, elevations + sections.



① LEVEL 1 (G) (BLD A+B) - LANDSCAPED AREA
1 : 500



② LEVEL 1 (G) (BLD C) - LANDSCAPED AREA
1 : 500



③ COMMUNAL ROOF TERRACE (BLD C) - LANDSCAPED AREA
1 : 500

SEPP (Housing) 2021

Schedule 10 - Dictionary

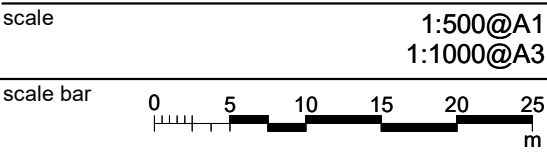
Landscaped area means the part of the site area not occupied by a building and includes a part used or intended to be used for a rainwater tank, swimming pool or open-air recreation facility, but does not include a part used or intended to be used for a driveway or parking area.

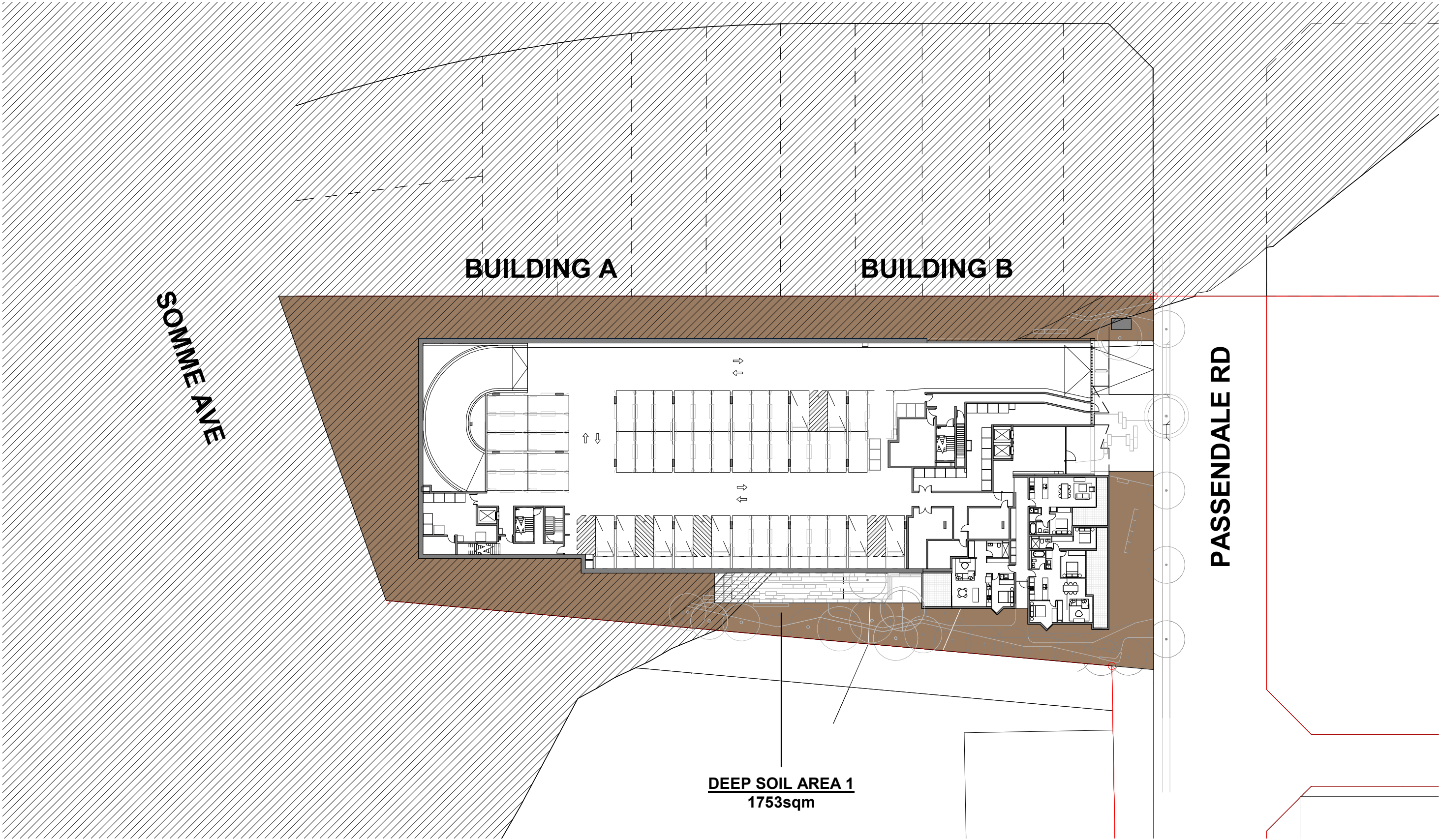
issue	amendment	date	legend
A	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

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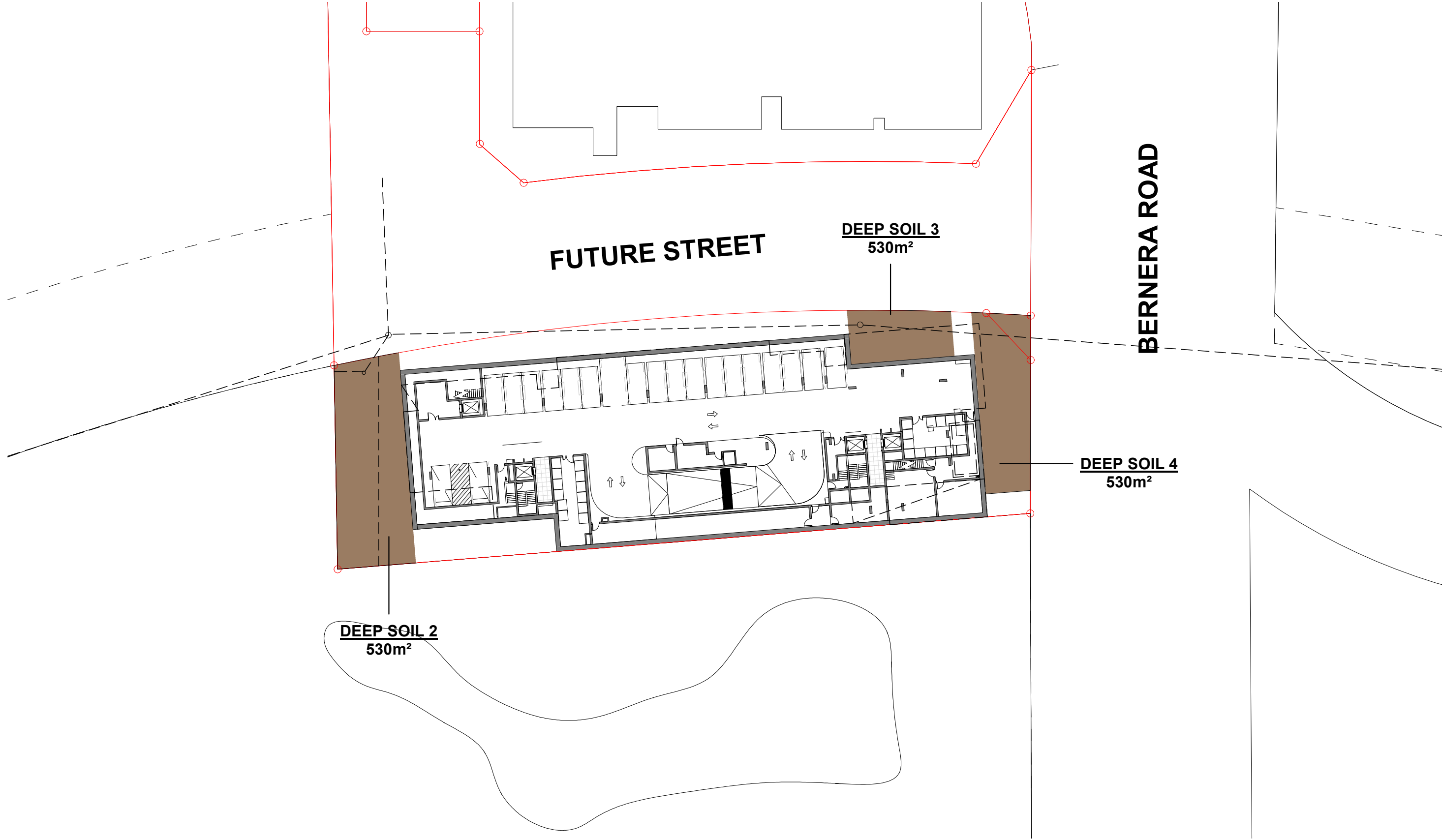
client
CROATIA 88 PTY LTD

project	RESIDENTIAL APARTMENT DEVELOPMENT LOT 101 DP 1267563 SOMME AVENUE EDMONDSON PARK
checked	JN
drawn	SV
project no	20 117





① LEVEL LG (B1) - NORTH DEEP SOIL DIAGRAM
1 : 500

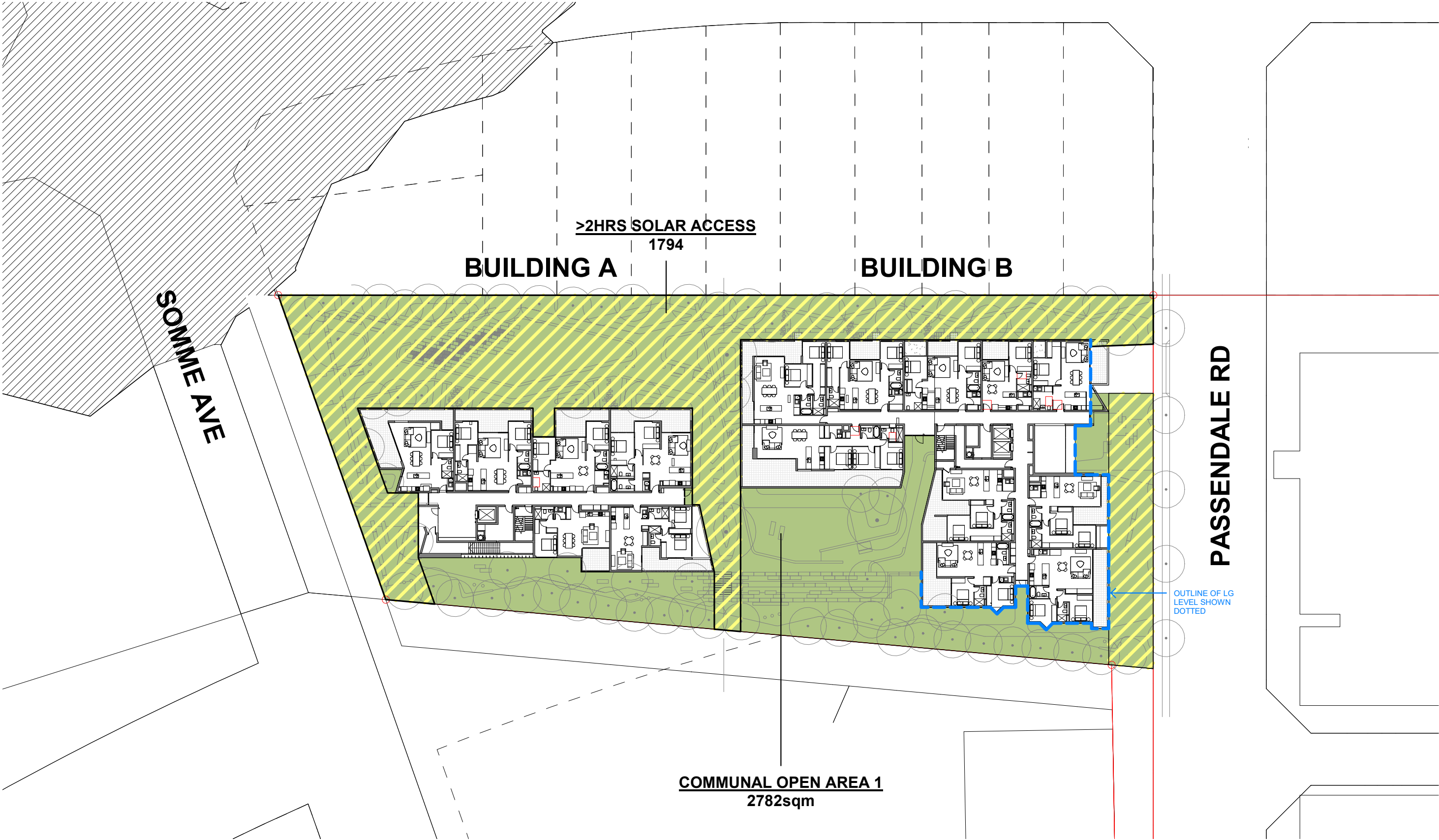


② BASEMENT 1 - SOUTH - DEEP SOIL DIAGRAM
1 : 500

Apartment Design Guide

Objective 3E-1 - Deep soil zones

Area of soil within a development that are unimpeded by buildings or structures above and below ground and have a minimum dimension of 6m. Deep soil zones exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas



① LEVEL 1 (G) (BLD A+B) - COMMUNAL OPEN SPACE
1 : 500



② LEVEL 1 (G) (BLD C) - COMMUNAL OPEN SPACE
1 : 500



③ COMMUNAL ROOF TERRACE (BLD C) - COMMUNAL OPEN SPACE
1 : 500

Apartment Design Guide

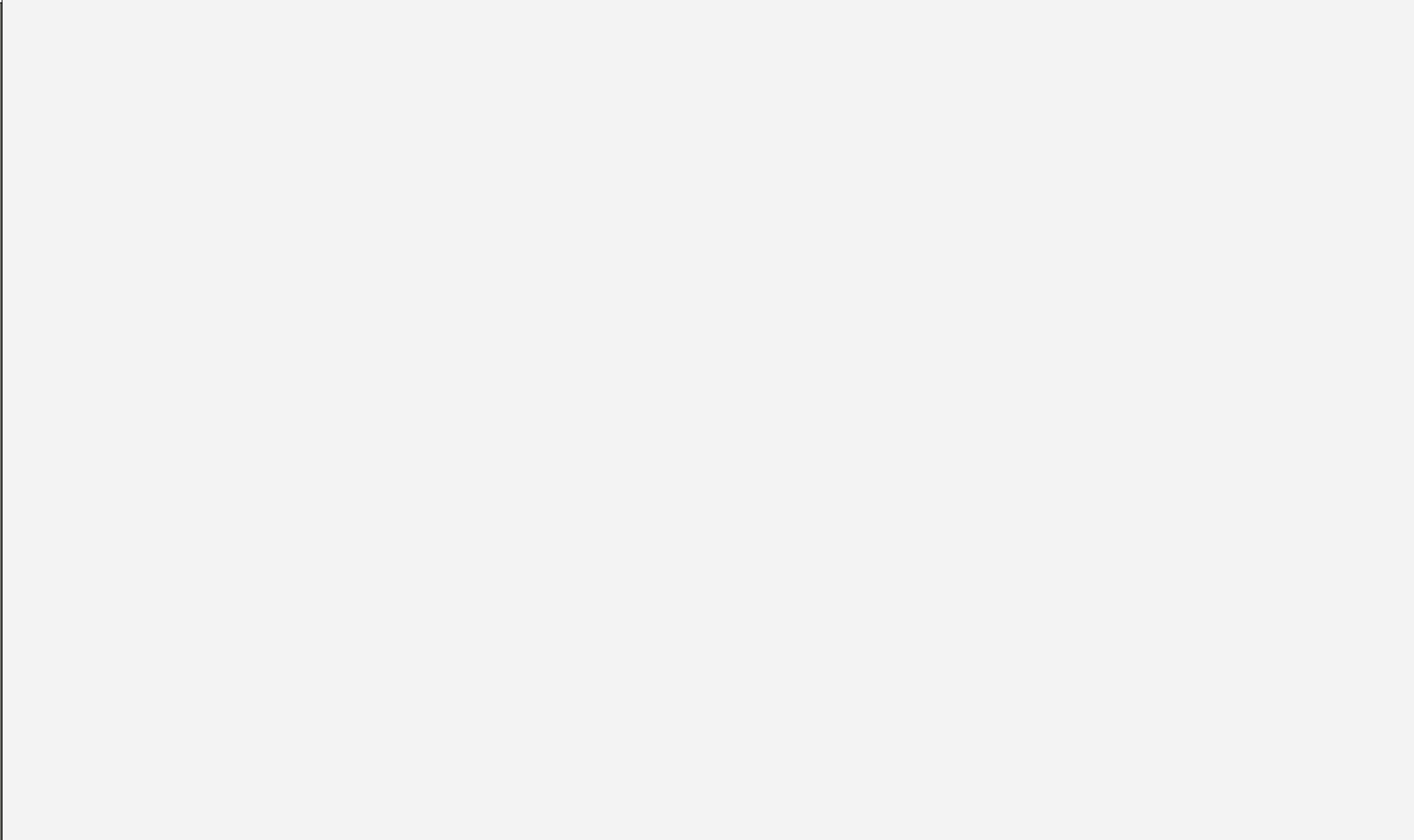
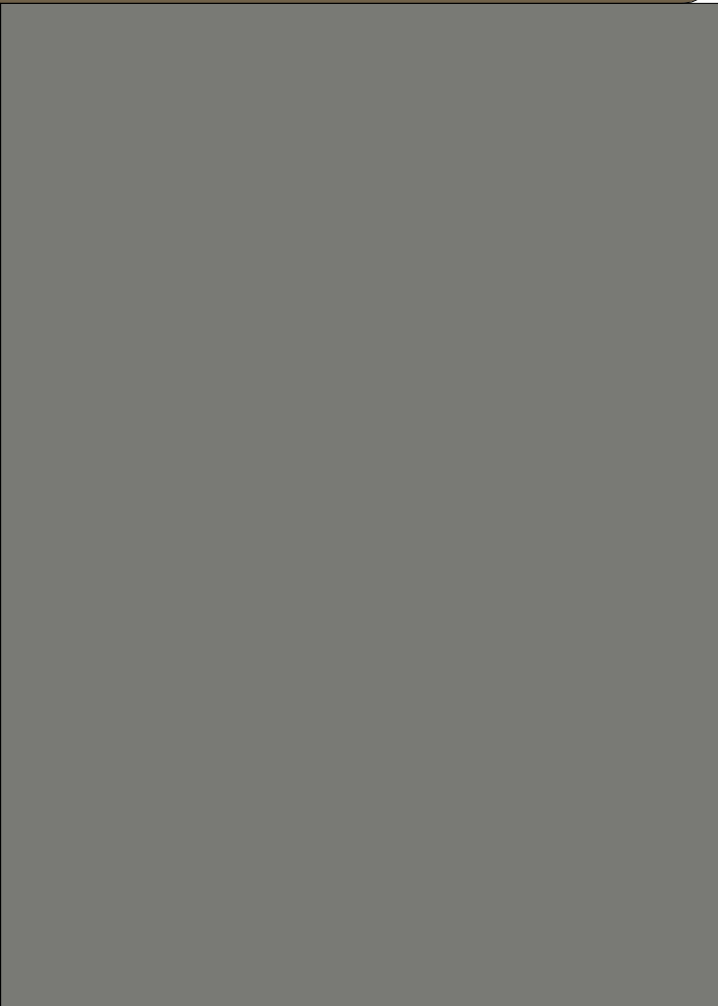
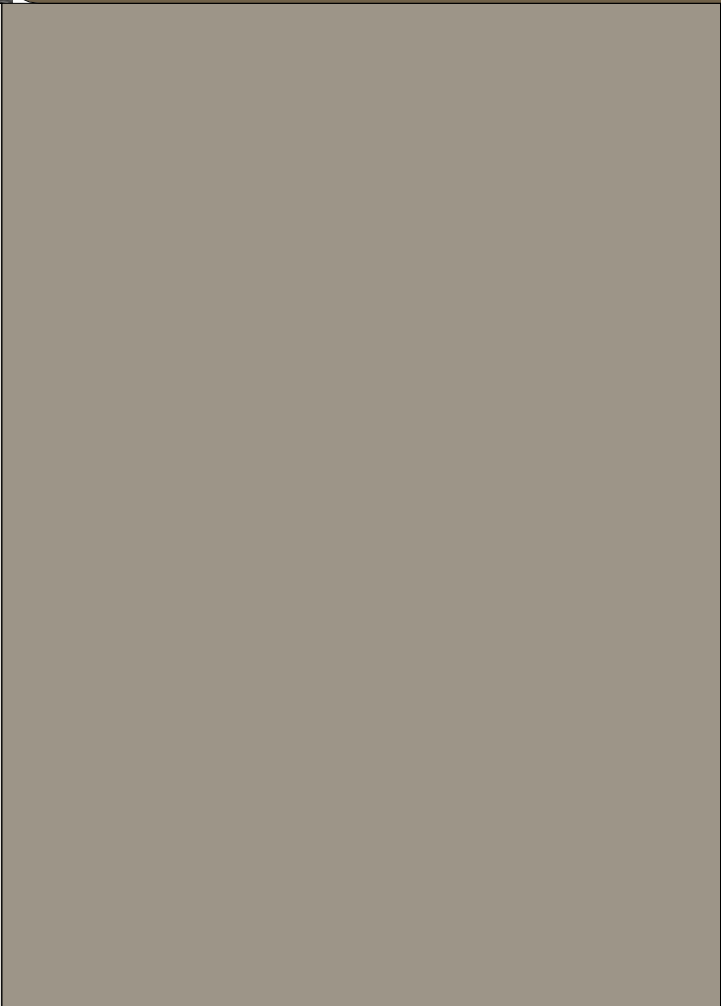
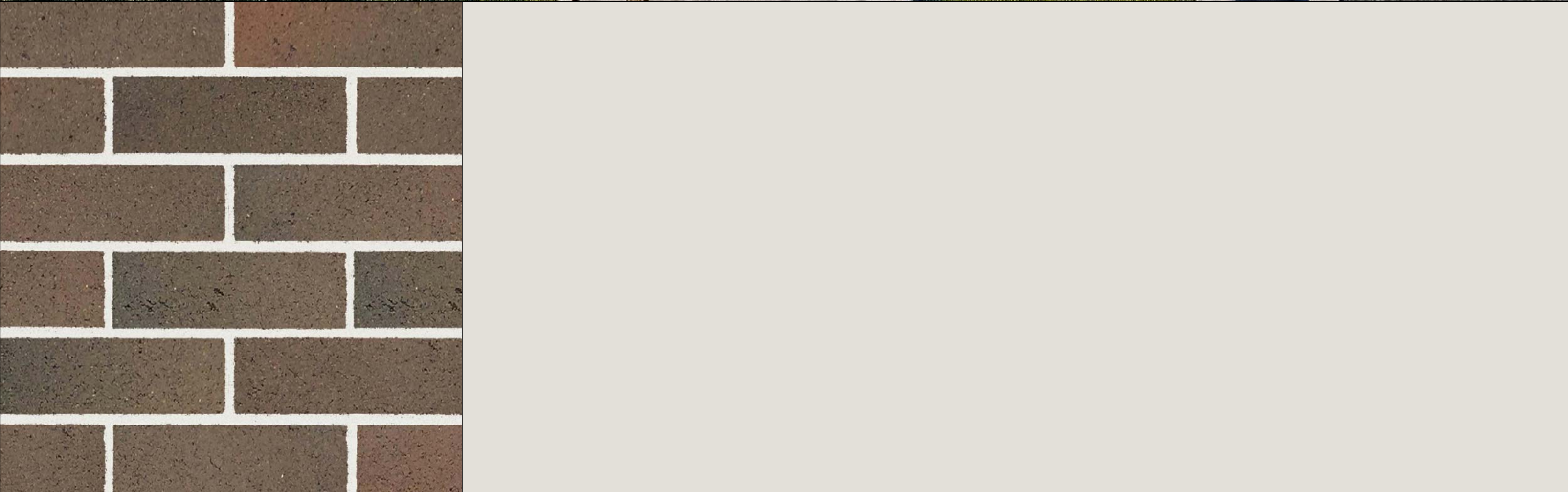
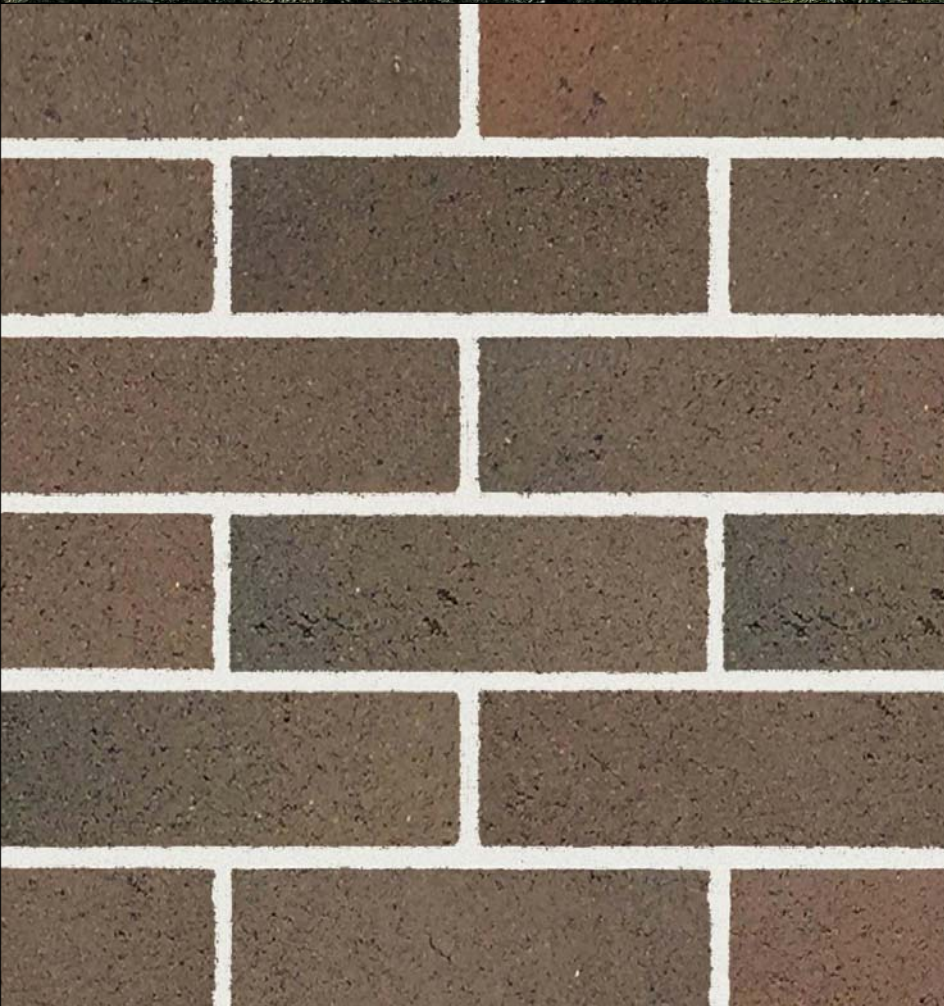
Objective 3D-1 - Communal open space

Outdoor space located within the site at ground level or on a structure that is within common ownership and for the recreational use of residents of the development. Communal open space may be accessible to residents only, or to the public

issue	amendment	date	legend
A	ISSUE FOR AMENDING DEVELOPMENT APPLICATION	29.02.24	

architect	Level 10 257 Clarence Street, Sydney NSW 2000 T (61 2) 9358 2588 www.stanislac.com.au ABN 11002633481 NSW ARB Frank Stanislac 4480
client	CROATIA 88 PTY LTD

project	RESIDENTIAL APARTMENT DEVELOPMENT LOT 101 DP 1267563 SOMME AVENUE EDMONDSON PARK
checked	drawing
drawn	Checker
project no	Author
20 117	drawing no



EXTERNAL MATERIALS, FINISHES + COLOUR BOARD

Residential Apartment Development
Lot 101 DP 1267563 Somme Avenue
Edmondson Park NSW

ISSUE B

DESCRIPTION

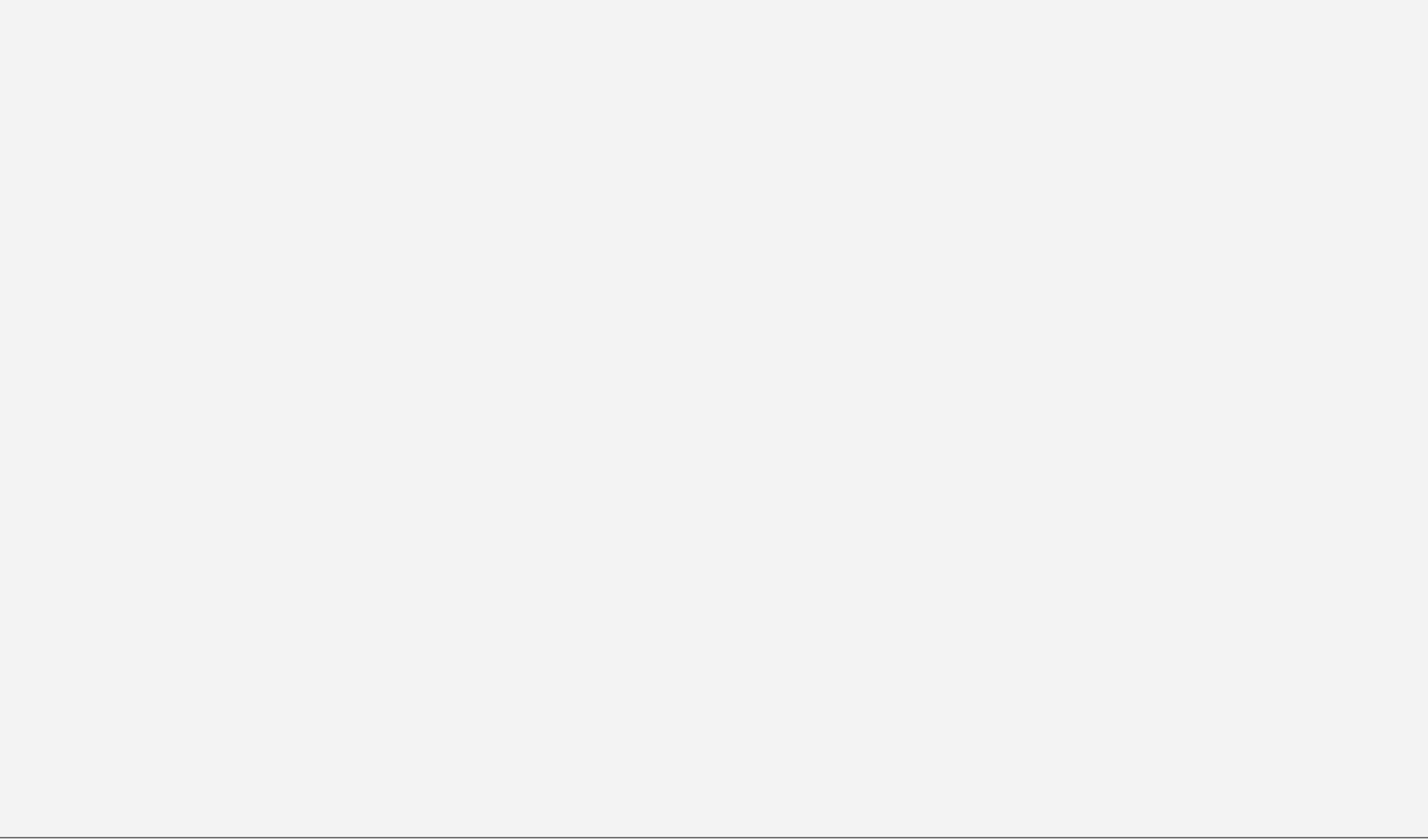
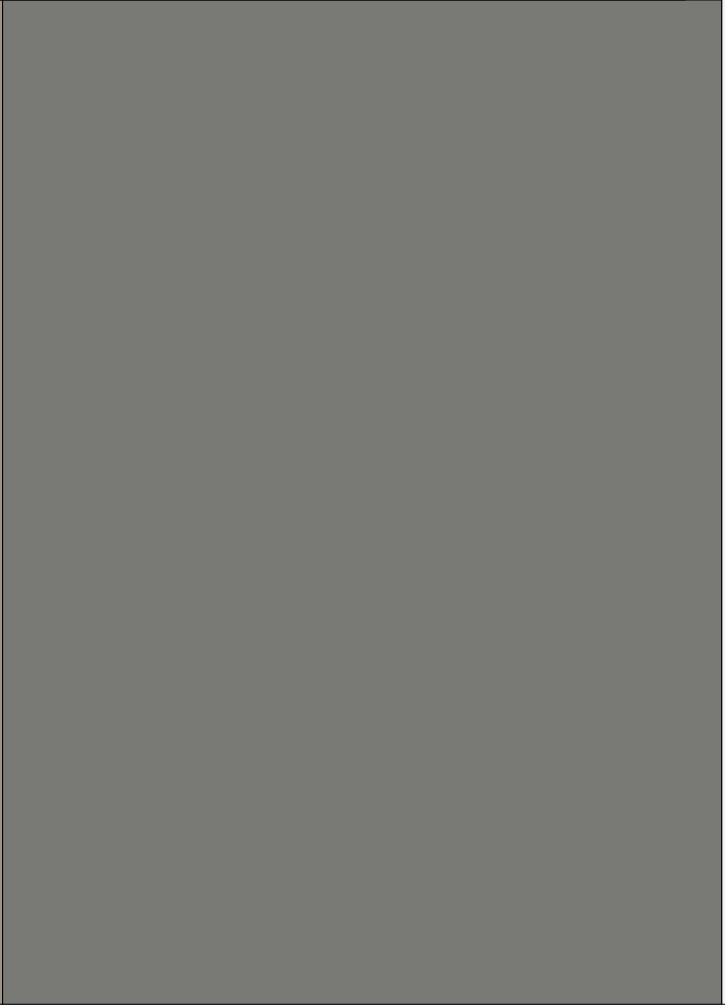
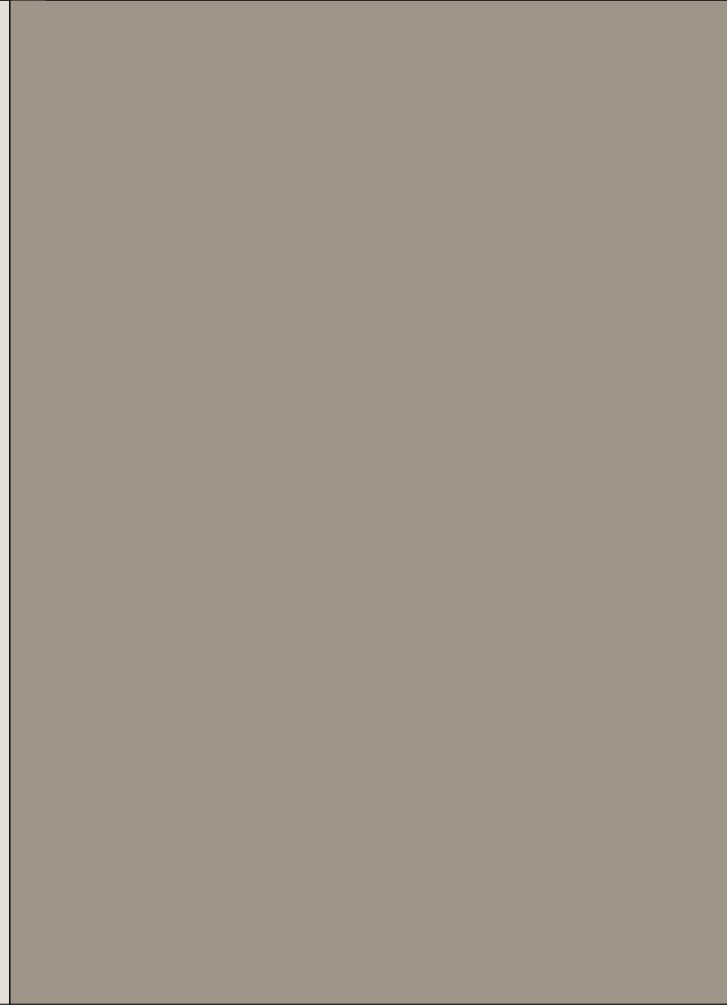
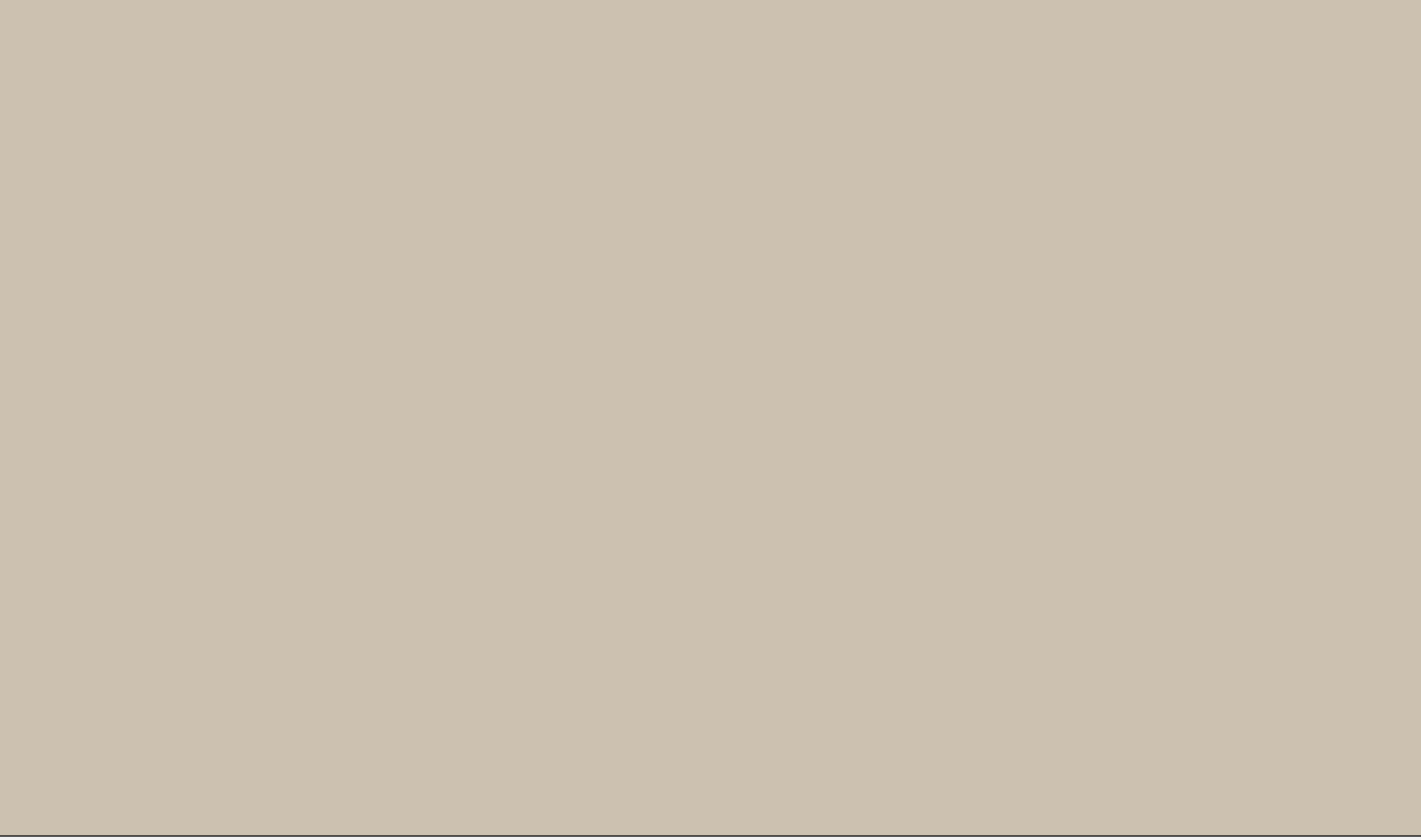
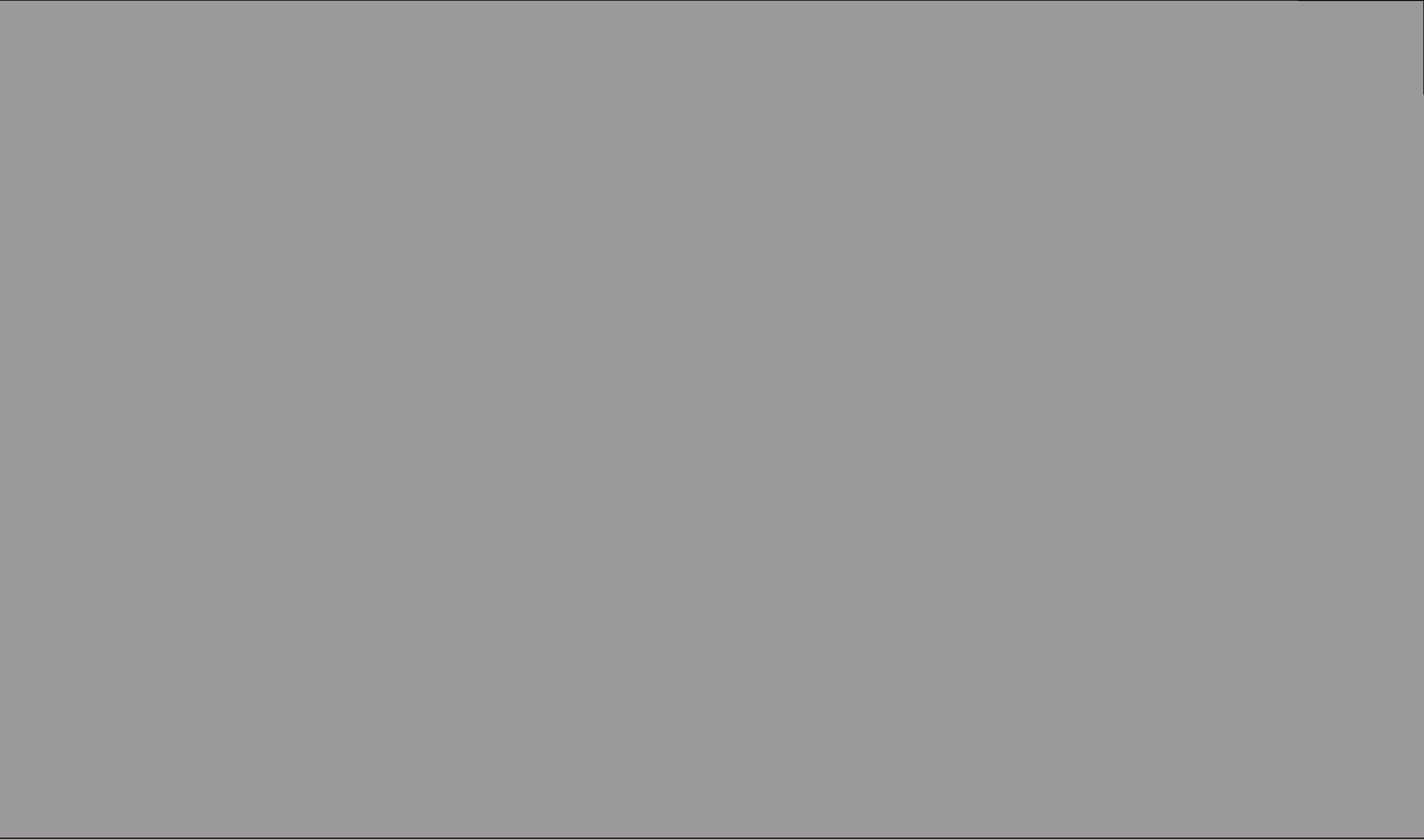
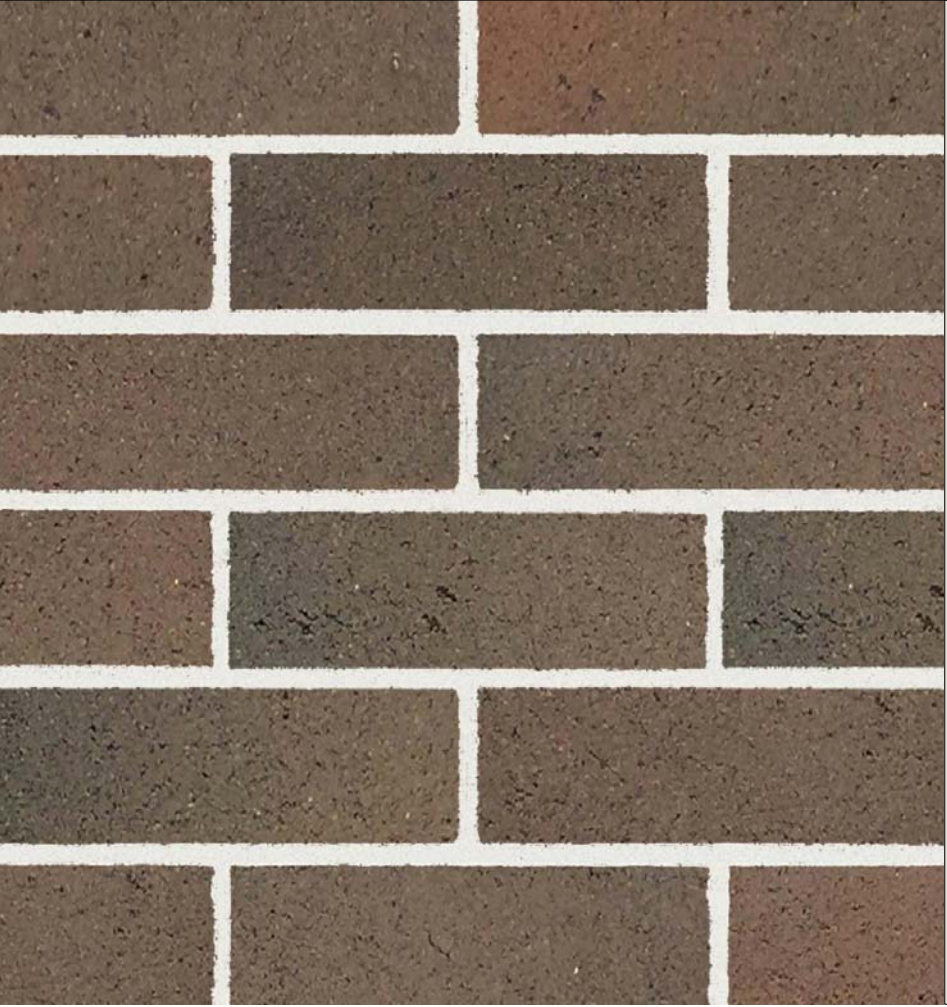
- 1. MASONRY, PAINT FINISH, DULUX, GREY PEBBLE OR SIMILAR
- 2. MASONRY, PAINT FINISH, DULUX, MALAY GREY OR SIMILAR
- 3. MASONRY, PAINT FINISH, DULUX, MUD PACK OR SIMILAR
- 4. MASONRY, VERTICAL GROOVES, DULUX, GREY PEBBLE OR SIMILAR
- 5. MASONRY, PAINT FINISH, COLOUR TO MATCH PC1
- 6. MASONRY, PAINT FINISH, COLOUR TO MATCH PC2
- 7. FACEBRICK, DRY PRESSED, BOWRAL BRICKS, BOWRAL BLUE
- 8. ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, DARK BRONZE
- 9. ALUMINIUM FRAMED WINDOWS + DOORS, DULUX, ELECTRO RANGE, MEDIUM BRONZE
- 10. ALUMINIUM BLADES, DULUX, ELECTRO RANGE, MEDIUM BRONZE
- 11. ALUMINIUM BATTENS, DULUX, ELECTRO RANGE, MEDIUM BRONZE
- 12. ALUMINIUM PLANT SCREEN, DULUX, ELECTRO RANGE, MEDIUM BRONZE
- 13. CLEAR GLASS, VIRIDIAN, BRONZE
- 14. CLEAR GLASS, VIRIDIAN, TINTED, DARK GREY
- 15. TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, CLEAR
- 16. TRANSLUCENT GLASS, VIRIDIAN, LUMINA CLOUD, GREY
- 17. ALUMINIUM PICKET BALUSTRADE, DULUX ELECTRO RANGE, MEDIUM BRONZE

ABBREVIATION

- PC1
- PC2
- PC3
- PC4
- P01
- P02
- FB1
- AL1
- AL2
- AL3
- AL4
- AL5
- GL1
- GL2
- GL3
- GL4
- BAL1

BUILDING A

		8		14, 16
		9, 10, 11 12, 17		13
7	1, 4, 5	3	2, 6	15



EXTERNAL MATERIALS, FINISHES + COLOUR BOARD

Residential Apartment Development
Lot 101 DP 1267563 Somme Avenue
Edmondson Park NSW

ISSUE B

DESCRIPTION

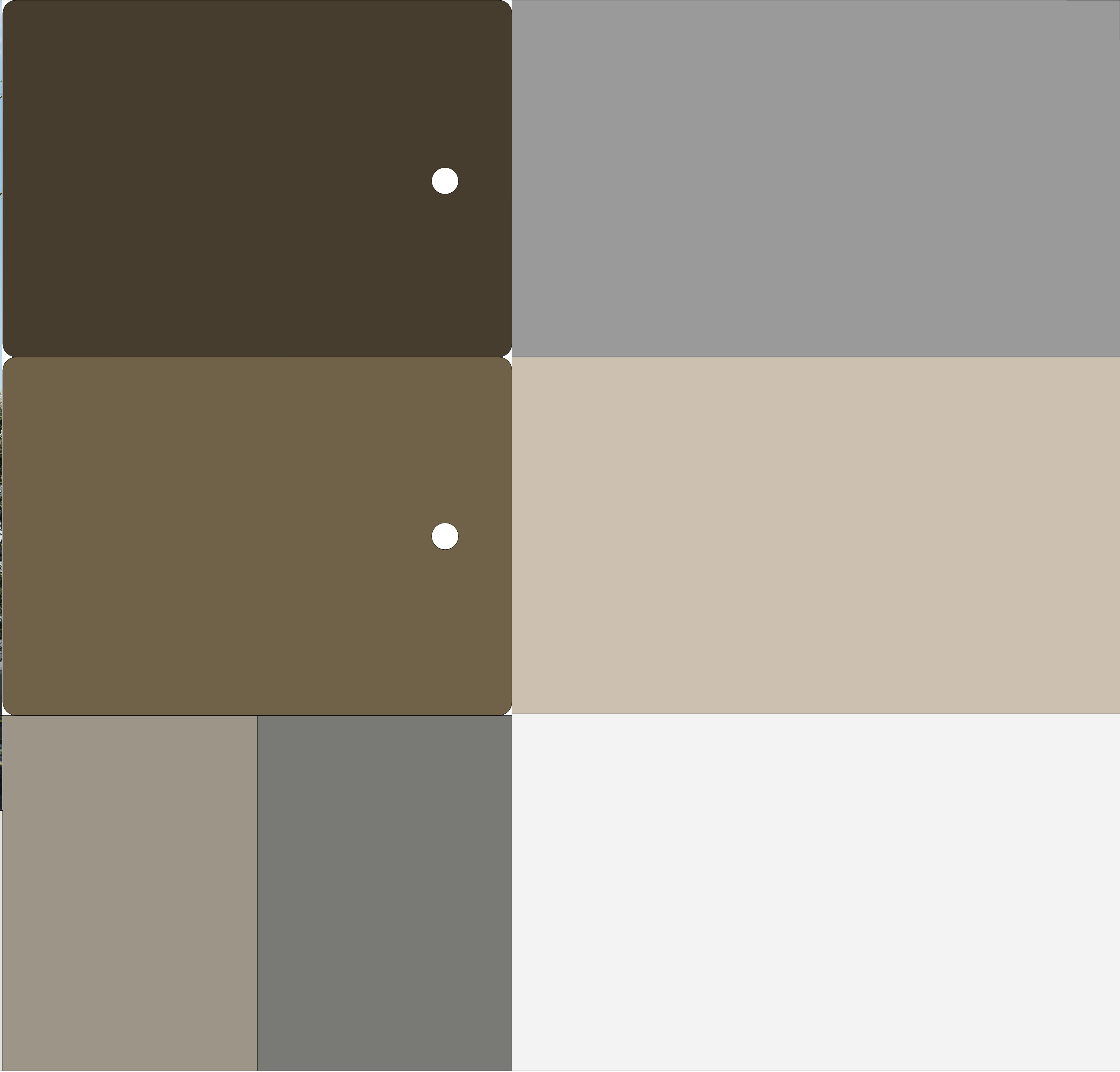
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ABBREVIATION

- PC1
- PC2
- PC3
- PC4
- P01
- P02
- FB1
- AL1
- AL2
- AL3
- AL4
- AL5
- GL1
- GL2
- GL3
- GL4
- BAL1

BUILDING B

		8		14, 16	
		9, 10, 11 12, 17		13	
7	1, 4, 5	3	2, 6	15	



EXTERNAL MATERIALS, FINISHES + COLOUR BOARD

Residential Apartment Development
Lot 101 DP 1267563 Somme Avenue
Edmondson Park NSW

ISSUE B

DESCRIPTION

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ABBREVIATION

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- PC2
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- PC4
- P01
- P02
- FB1
- AL1
- AL2
- AL3
- AL4
- AL5
- GL1
- GL2
- GL3
- GL4
- BAL1

BUILDING C

		8		14, 16	
		9, 10, 11 12, 17		13	
7	1, 4, 5	3	2, 6	15	